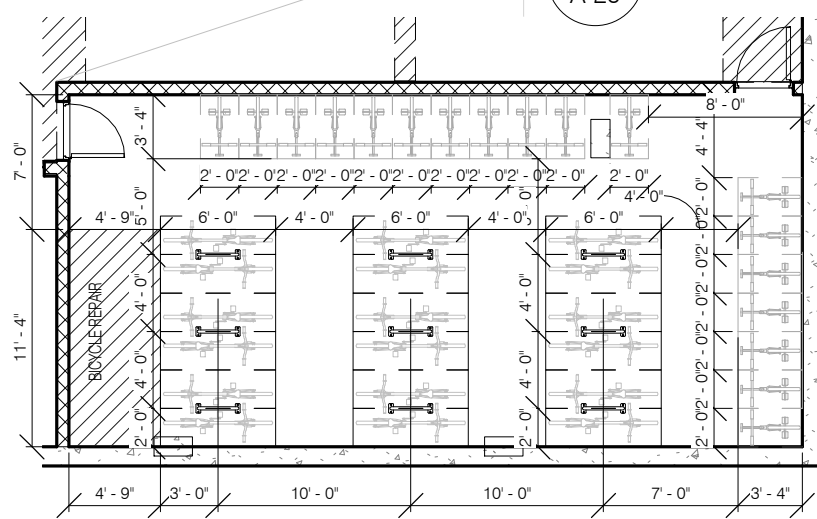
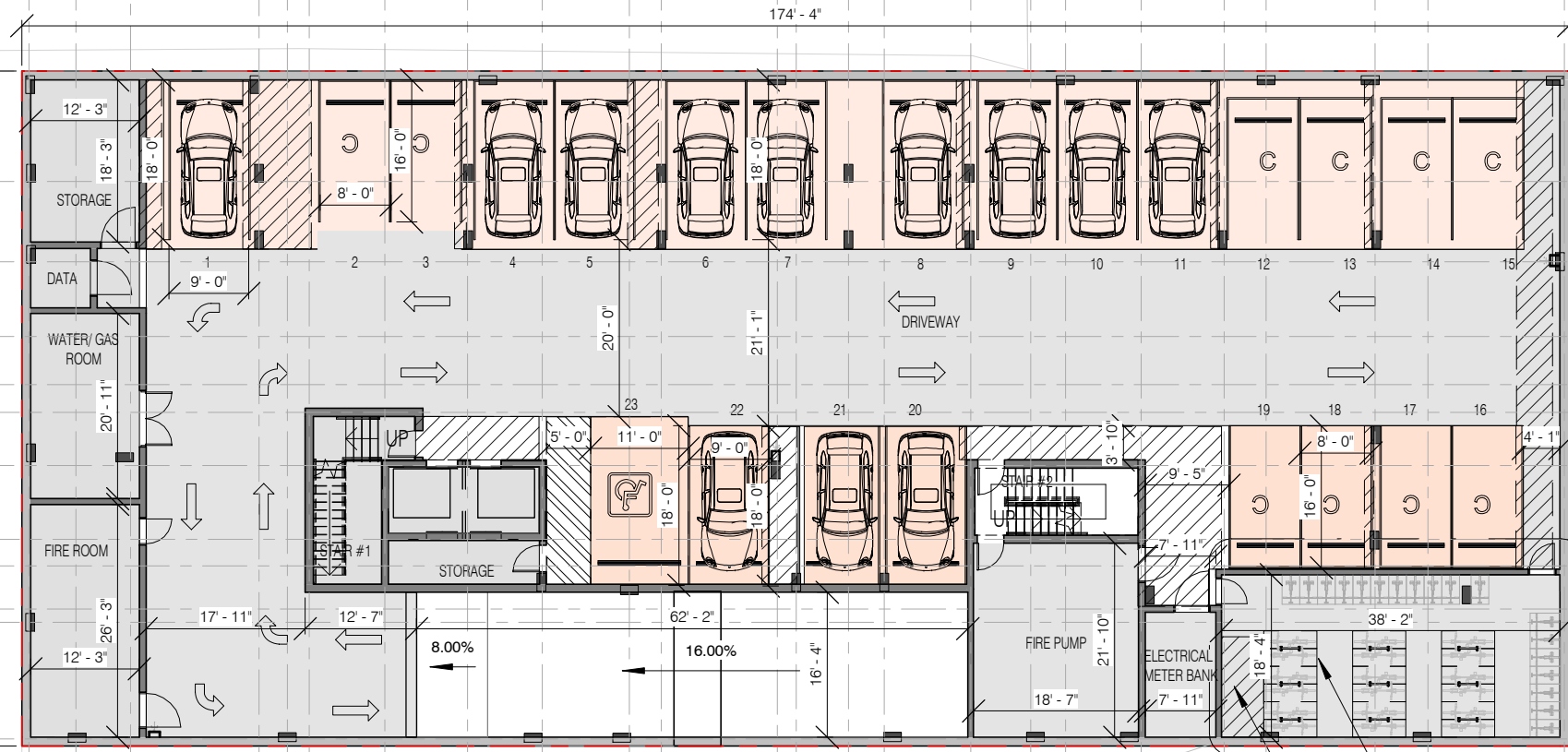


# EXHIBIT A-2

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24

A  
B  
C  
D  
E  
F  
G  
H  
J  
K  
L  
M

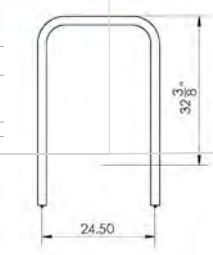


NUMBER OF PARKING				
REQUIRED	RESIDENTIAL	1/3 UNITS (101-4) = 97 / 3/2 = 16	21 SPACES REQUIRED 50% REDUCTION DUE TO 0.5 MILE TO METRO STATION (WATERFRONT)	
	COMMERCIAL	1.33/1000 SF 1.33X4052 = 5		
PROPOSED	COMPACT (8X16)	10	23 SPACES PROVIDED	
	STANDARD (8X19)	12		
	ADA VAN (11X19)	1		
NUMBER OF BIKES				
REQUIRED	RESIDENTIAL LONG TERM	1/3 UNITS 101/3 = 34	18 SPACES	36 SPACES PROVIDED
	RETAIL LONG TERM	1/10,000 SF NA	18 SPACES VERTICAL	LONG TERM
	RESIDENTIAL SHORT TERM	1/20 UNITS 101/20 = 5	8 SPACES PROVIDED SHORT TERM	
	RETAIL SHORT TERM	1/3,500 SF 2		

BASED ON CURRENT DISTRICT ZONING REQUIREMENTS, THE RESIDENTIAL PORTION OF THE DEVELOPMENT IS REQUIRED TO PROVIDE ONE (1) SPACE PER EACH THREE DWELLING UNITS IN EXCESS OF FOUR UNITS. THIS REQUIREMENT IS HALVED DUE TO THE AFFORDABLE HOUSING THAT IS PLANNED, RESULTING IN 16 SPACES REQUIRED.

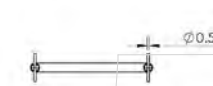
**GROUND CONTROL SYSTEMS**  
Formerly Park A Bike

HOOP RUNNER - HR100  
2 Bike Below Ground Mount - Specs



**MATERIALS**  
HSS 1.9" steel tubing  
Two 1/2" x 6" anchor rods

**FINISH**  
Galvanized  
Galvanized to ASTM A123 / A123M - 12  
Black Powder Coat  
Final Coat: Polyester based Powder Coating - this offers a hard shell finish to the product to protect the metal substrate from oxidizing. Our finishes withstand harsh conditions with a strong polyester UV-stable coating with superior salt spray protection.



**MOUNTING**  
Below Ground  
Suggested concrete:  
3000 PSI mix min.



**SPACE USE**  
Wall Setbacks  
For racks parallel to a wall  
Minimum: 24"  
For racks perpendicular to a wall  
Minimum: 34"  
Distance Between Racks:  
Minimum: 24"  
Street Setbacks  
For racks parallel to the street:  
Minimum: 24"  
\*These are our suggested minimum clearances.

groundcontrolsystems.com | P. 800.630.7215 | info@groundcontrolsystems.com



1530 FIRST STREET SW

1530 FIRST STREET SW WASHINGTON D.C. 20024

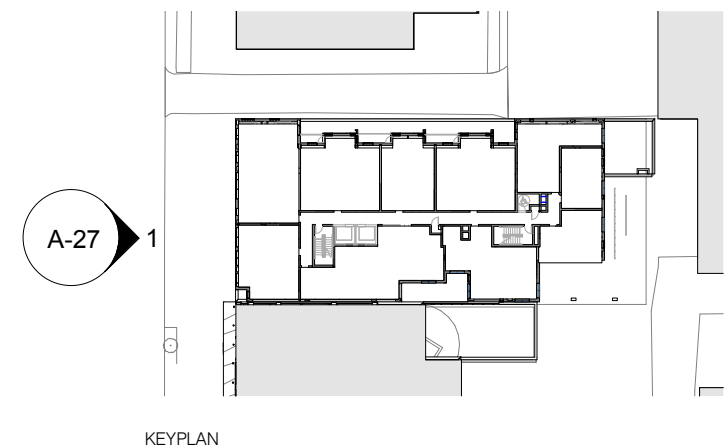
Square: 0656 Lot No: 0053 Zone: CG-4

**PGN ARCHITECTS**  
PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)

**TM Associates Inc.**  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

GARAGE FLOOR PLAN A-26

10/25/2018



**1530 FIRST ST. S.W.**

**WEST RENDERED ELEVATION | A-27**

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4



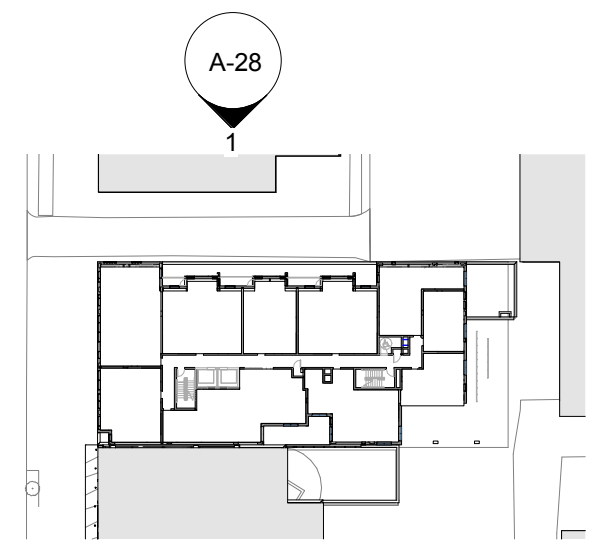
PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)



TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

10/25/2018





KEYPLAN

1530 FIRST ST. S.W.

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4



PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)



TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

NORTH RENDERED ELEVATION | A-28

10/25/2018



**1530 FIRST ST. S.W.**

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4



PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)

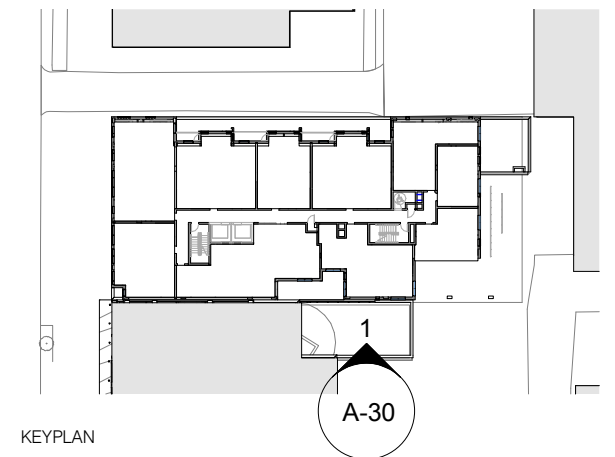


TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

EAST RENDERED ELEVATION | A-29

10/25/2018





**1530 FIRST ST. S.W.**

**SOUTH RENDERED ELEVATION | A-30**

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4

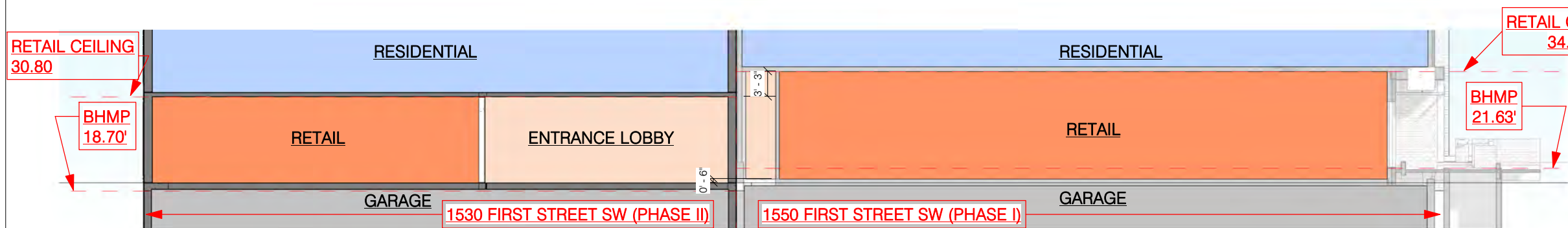
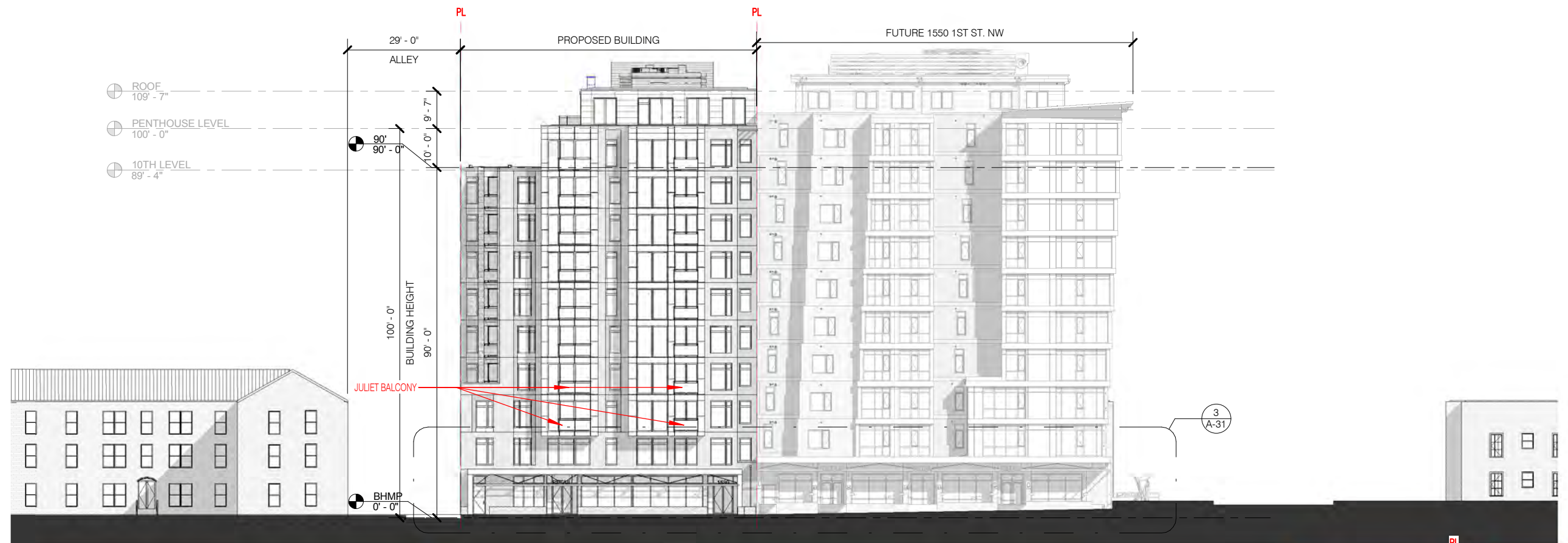


PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)

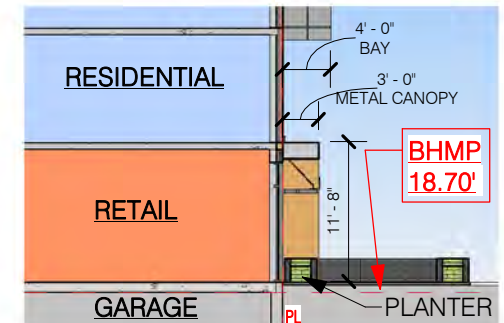


TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

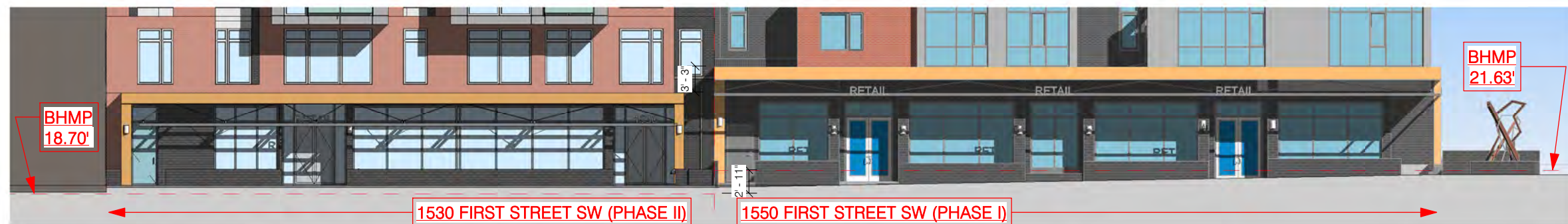
10/25/2018



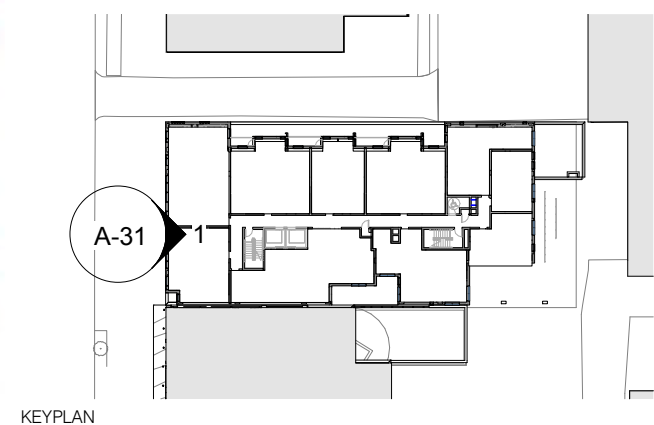
2 RETAIL SECTION  
1/16" = 1'-0"



4 RETAIL CANOPY SECTION  
1/16" = 1'-0"



3 RETAIL ELEVATION  
1/16" = 1'-0"



KEYPLAN

1530 FIRST ST. S.W.

WEST ELEVATION | A-31

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4



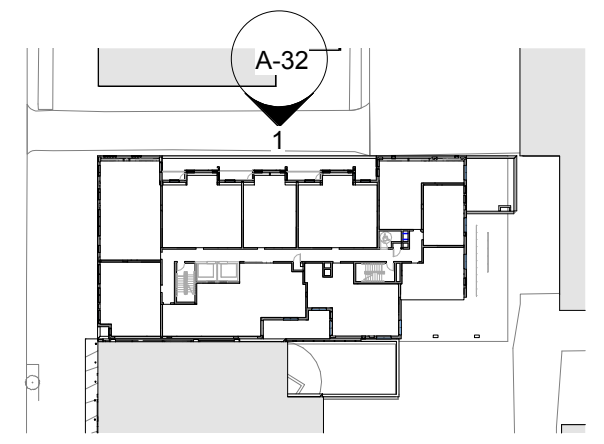
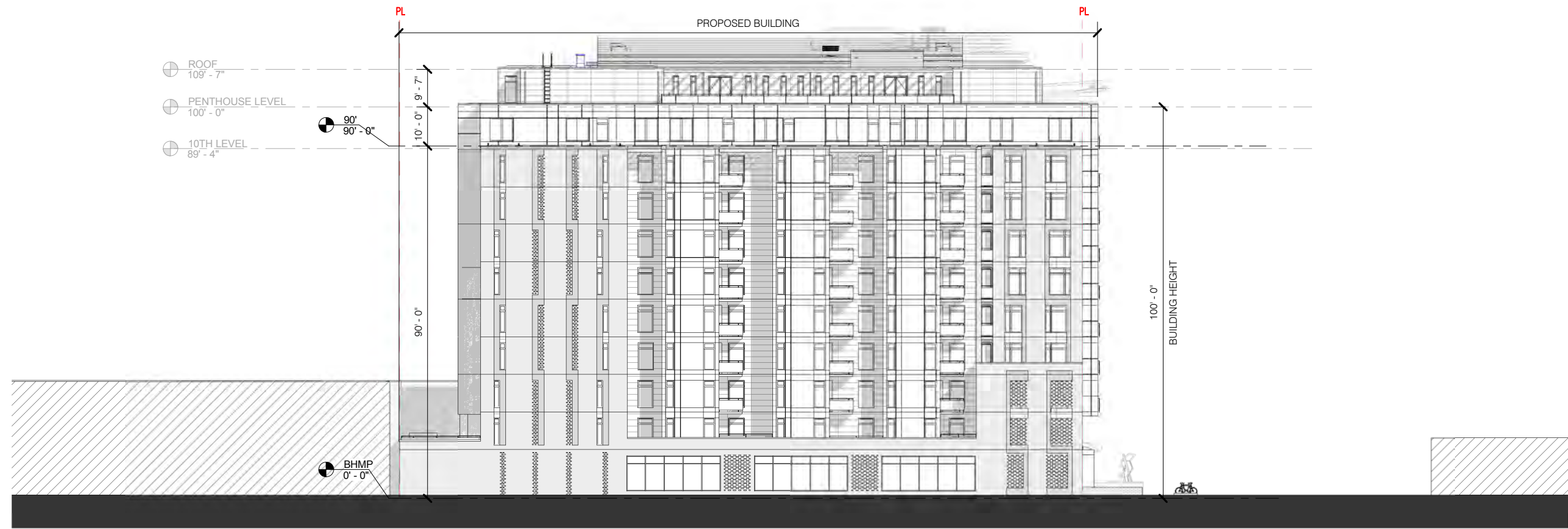
PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)



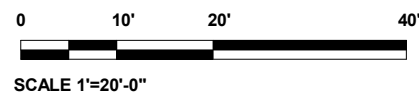
TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

10/25/2018





KEYPLAN



1530 FIRST ST. S.W.

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4



PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)

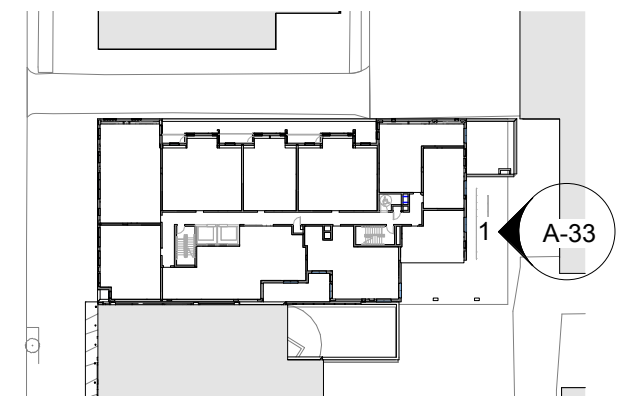
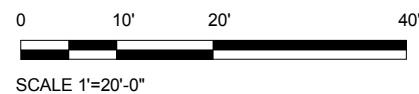
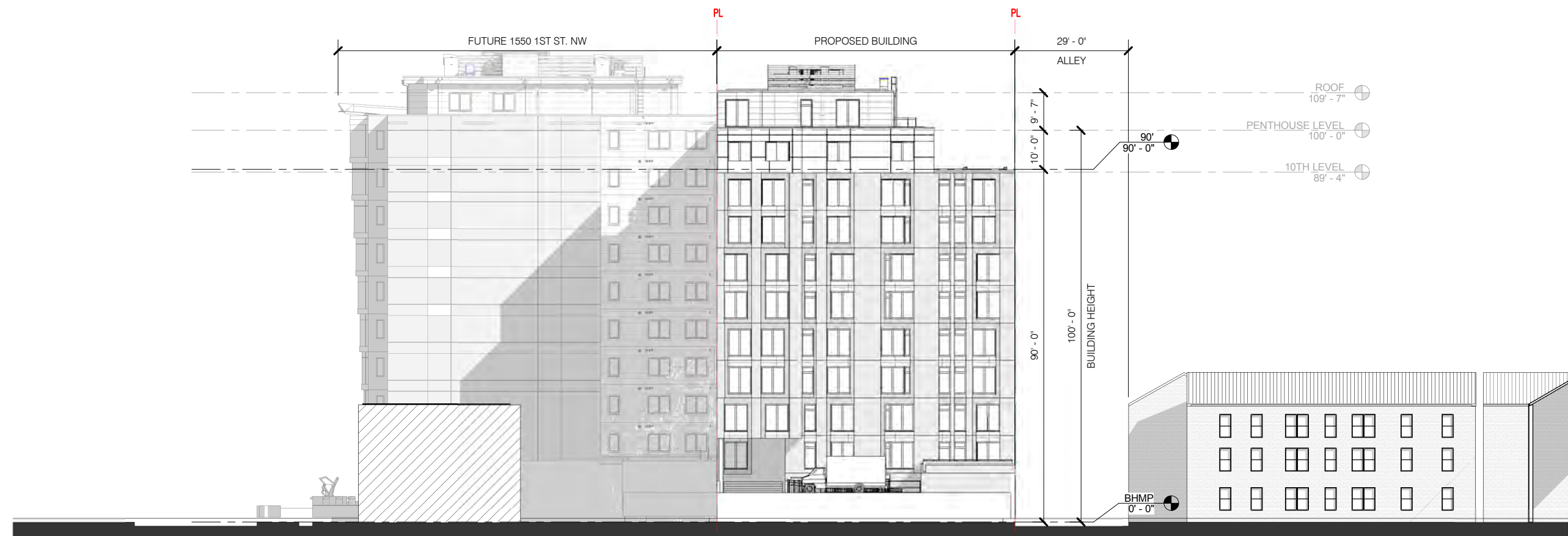


TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

NORTH ELEVATION | A-32

10/25/2018





KEYPLAN

1530 FIRST ST. S.W.

EAST ELEVATION | A-33

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4

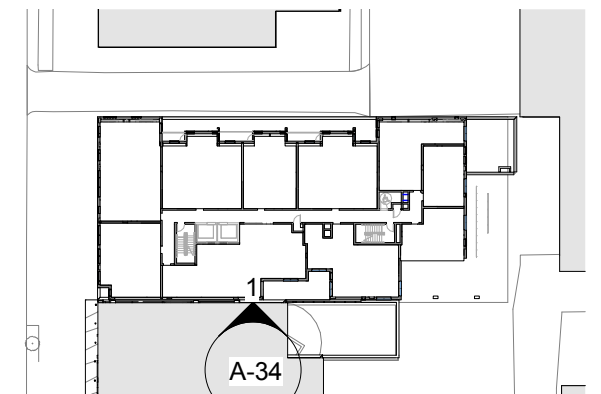
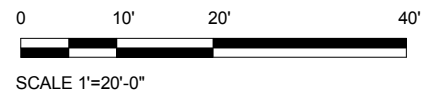
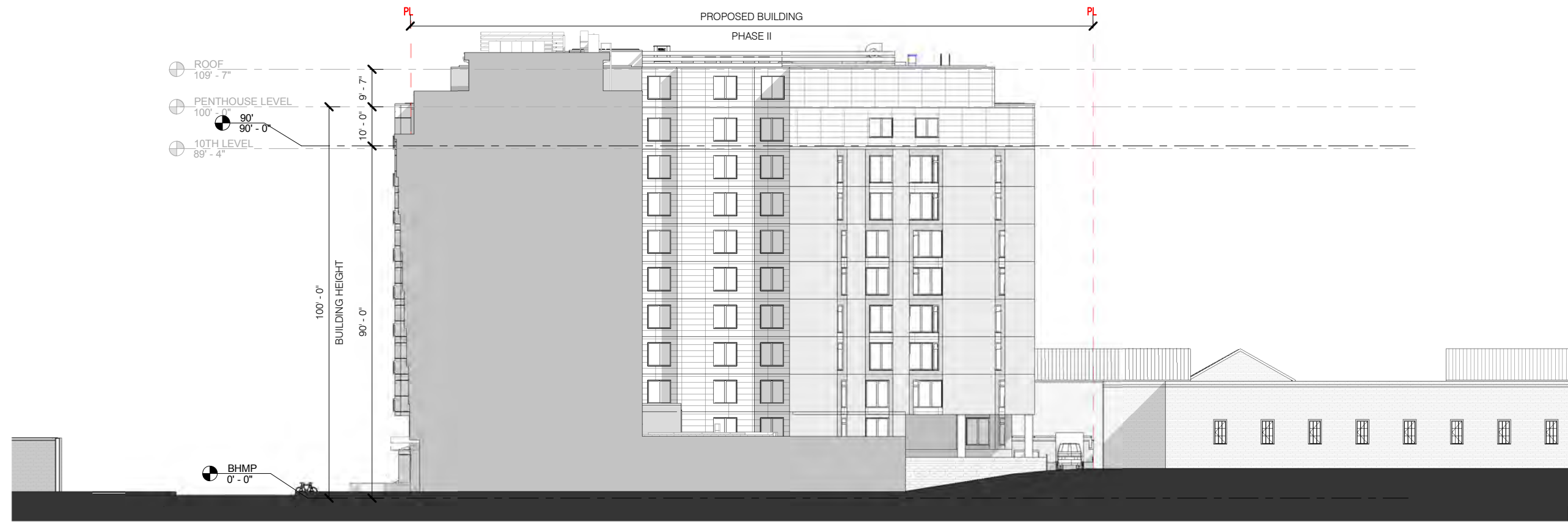


PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)



TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

10/25/2018



KEYPLAN

1530 FIRST ST. S.W.

SOUTH ELEVATION | A-34

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4

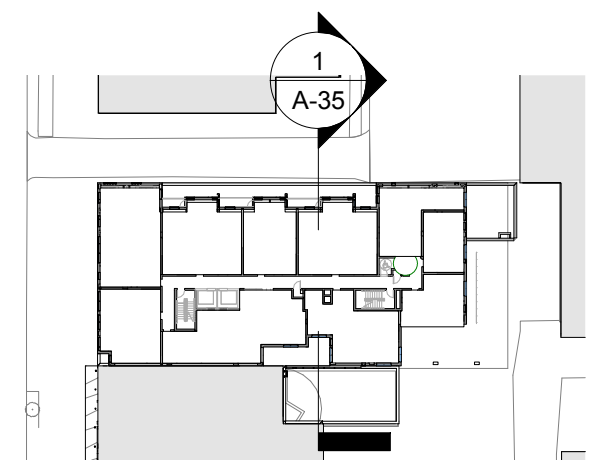
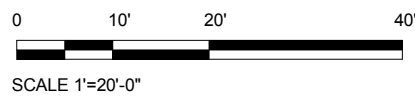
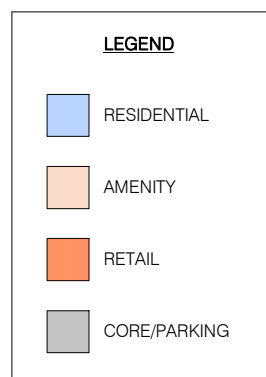
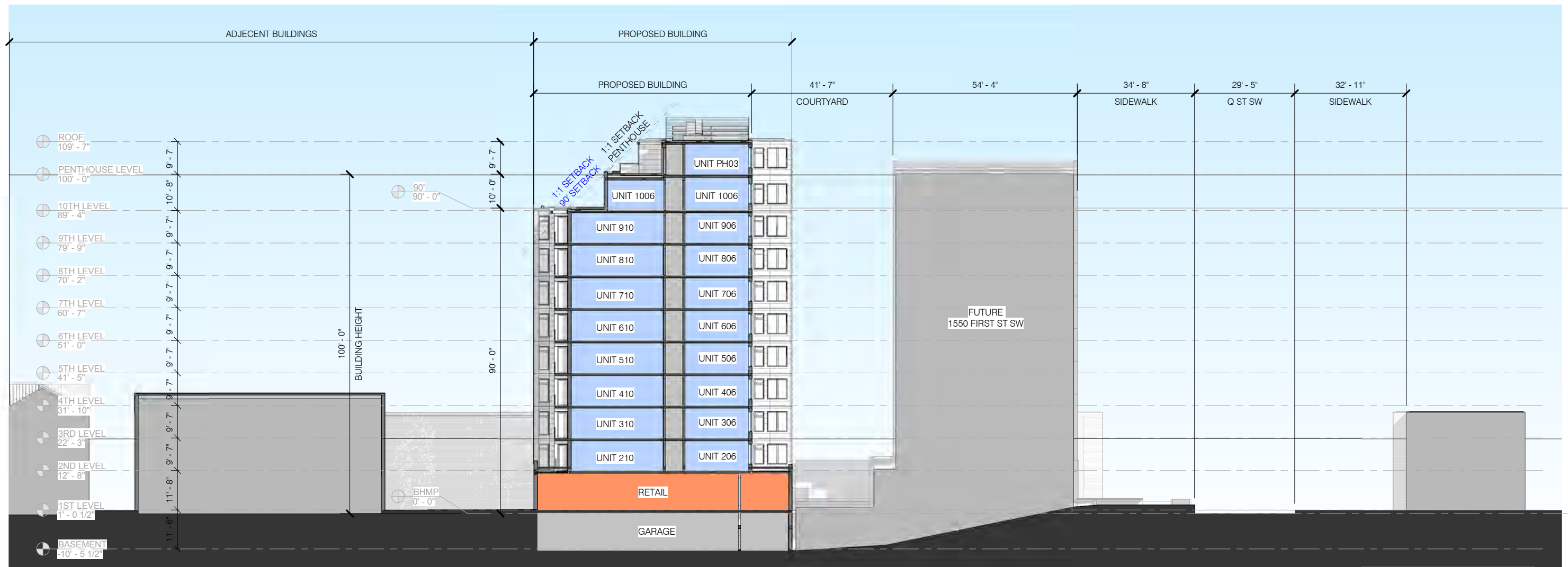


PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)



TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

10/25/2018



KEYPLAN

1530 FIRST ST. S.W.

BUILDING SECTION A-35

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4



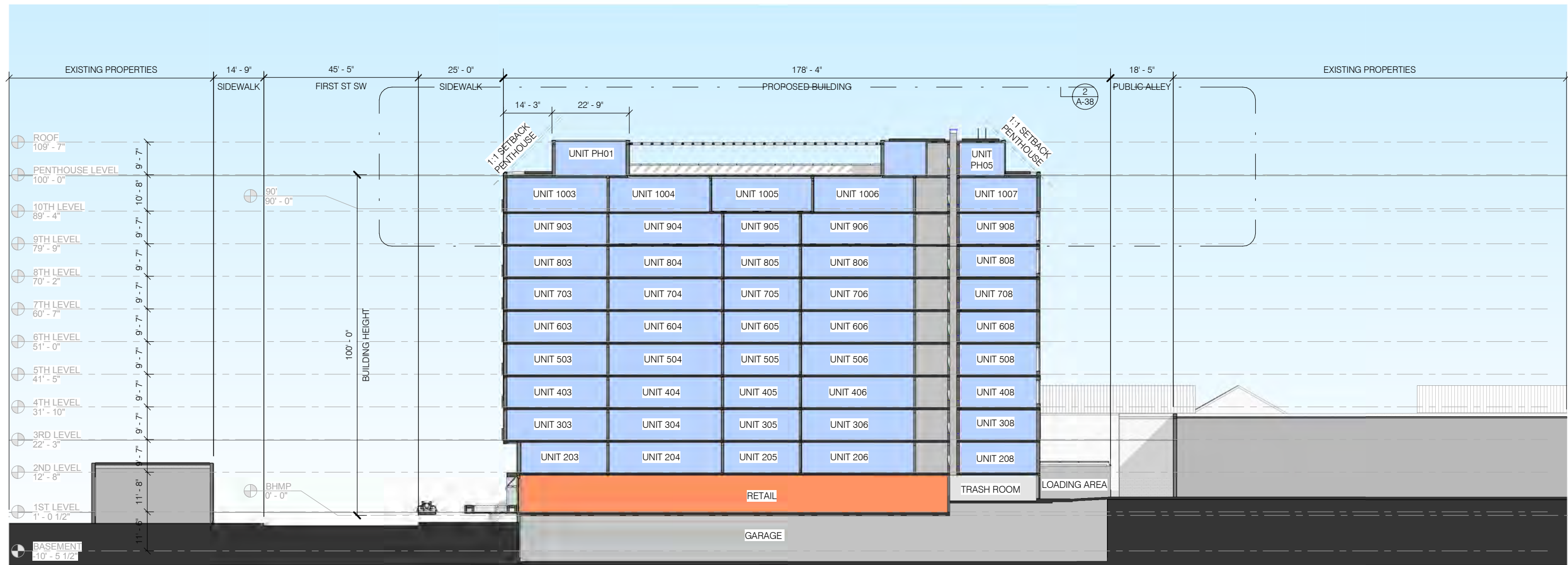
PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)



TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

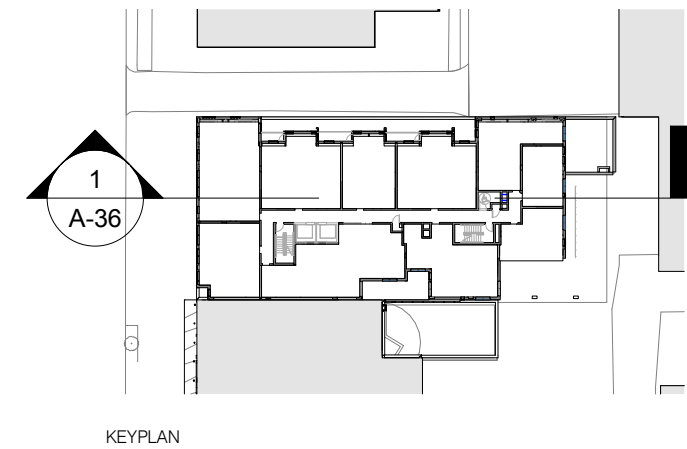
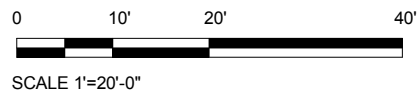
10/25/2018





**LEGEND**

<span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span> RESIDENTIAL
<span style="display:inline-block; width:15px; height:15px; background-color:lightorange; border:1px solid black;"></span> AMENITY
<span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span> RETAIL
<span style="display:inline-block; width:15px; height:15px; background-color:gray; border:1px solid black;"></span> CORE/PARKING



1530 FIRST ST. S.W.

BUILDING SECTION A-36

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4

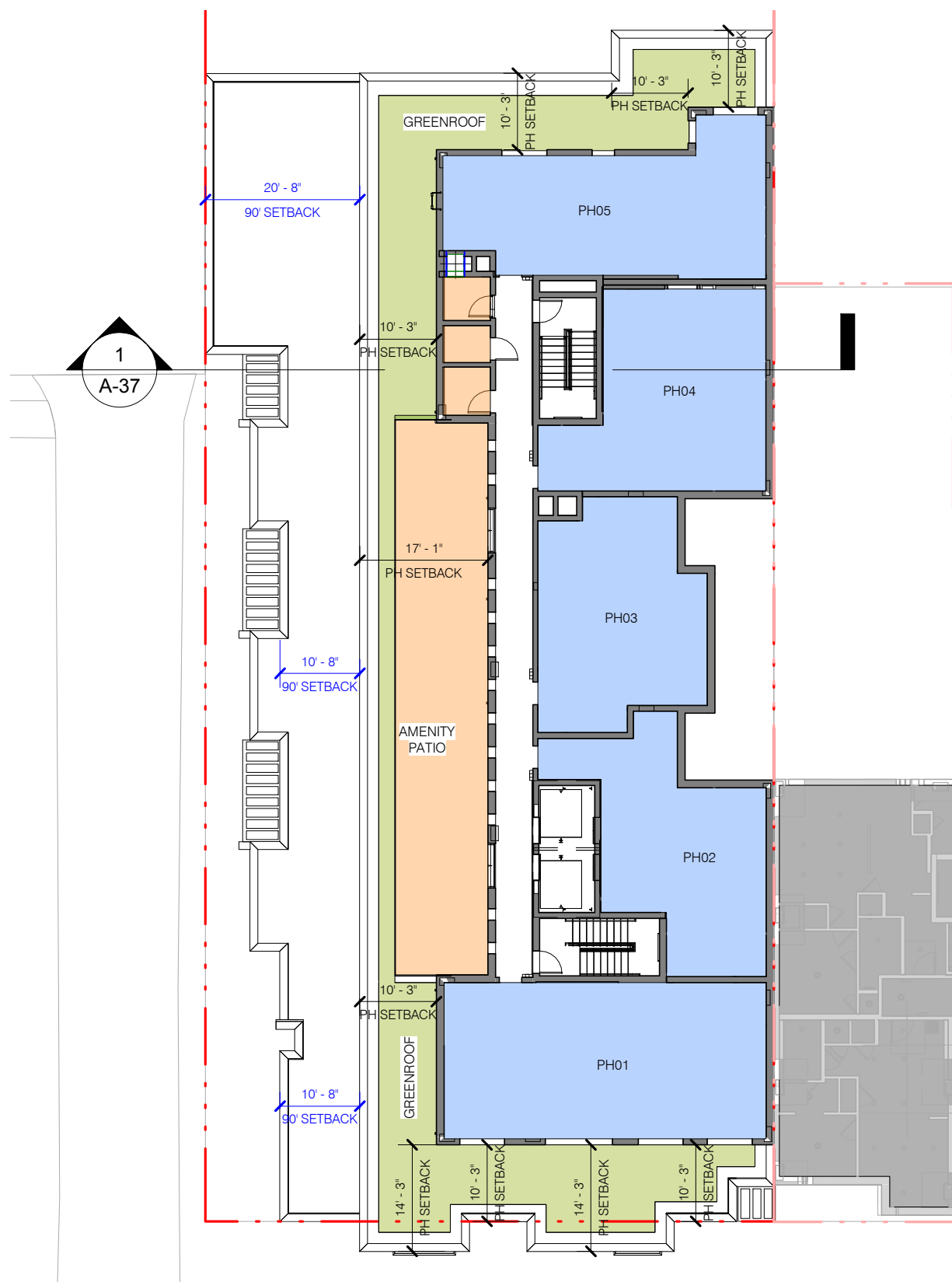


PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)

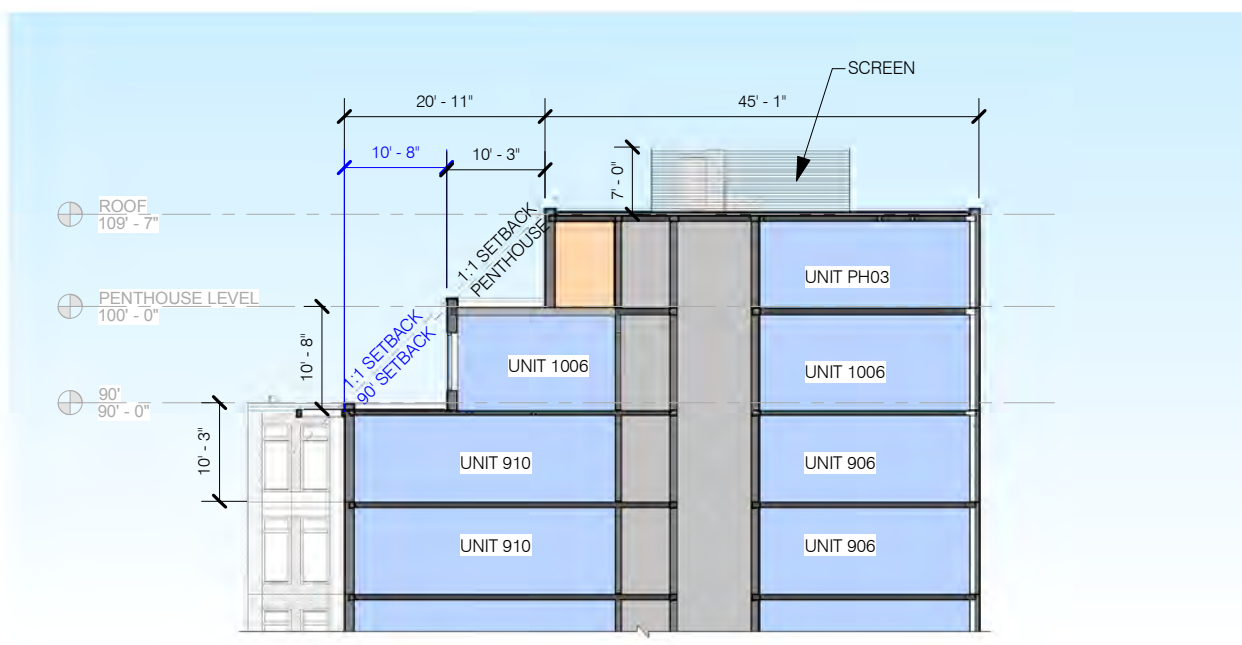


TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

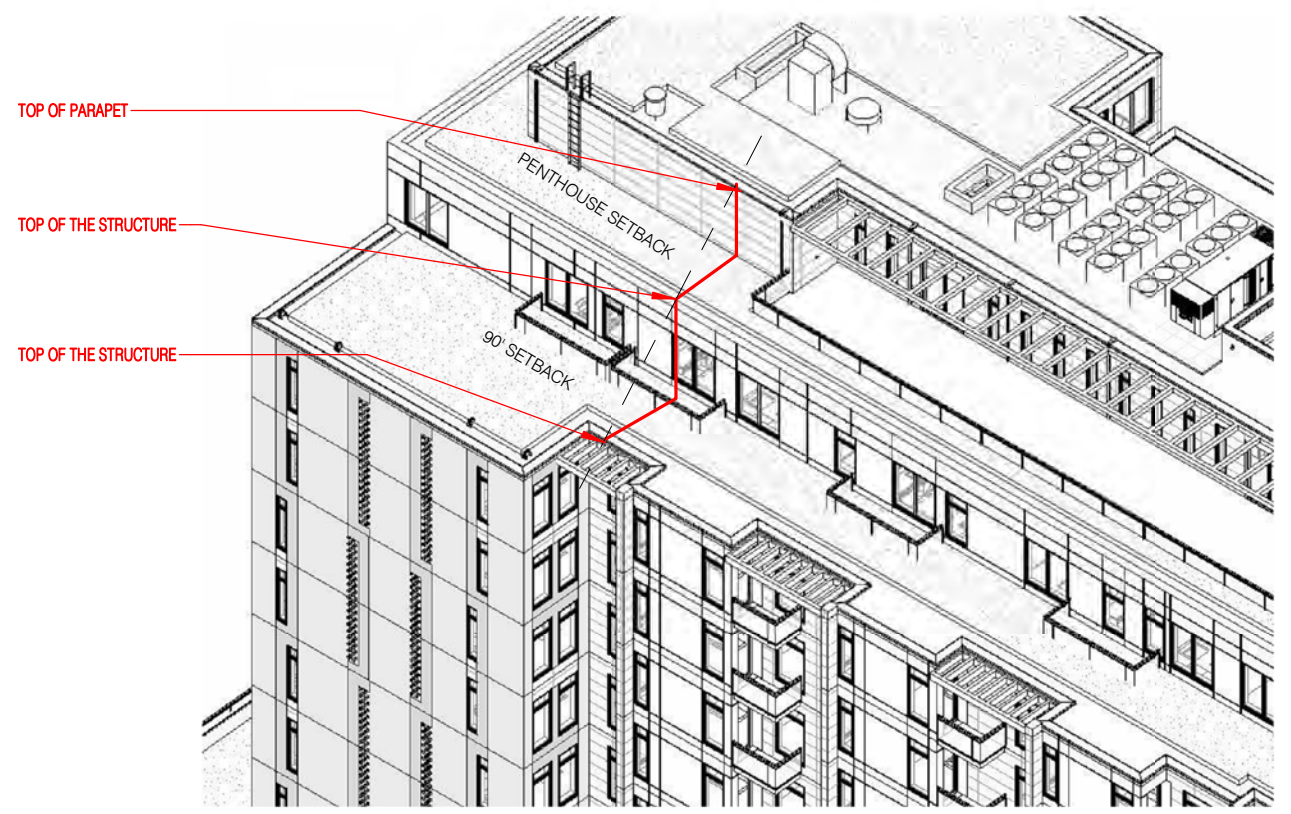
10/25/2018



③ 11TH LEVEL - PENTHOUSE EAST SETBACK  
1" = 20'-0"



① ENLARGED PENTHOUSE - TRANSVERSE SECTION  
1" = 20'-0"



1530 FIRST ST. S.W.

ENLARGED PENTHOUSE ELEVATION | A-37

1530 FIRST ST. S.W. WASHINGTON DC 20024  
Square: 0656 Lot No: 0053 Zone: CG-4

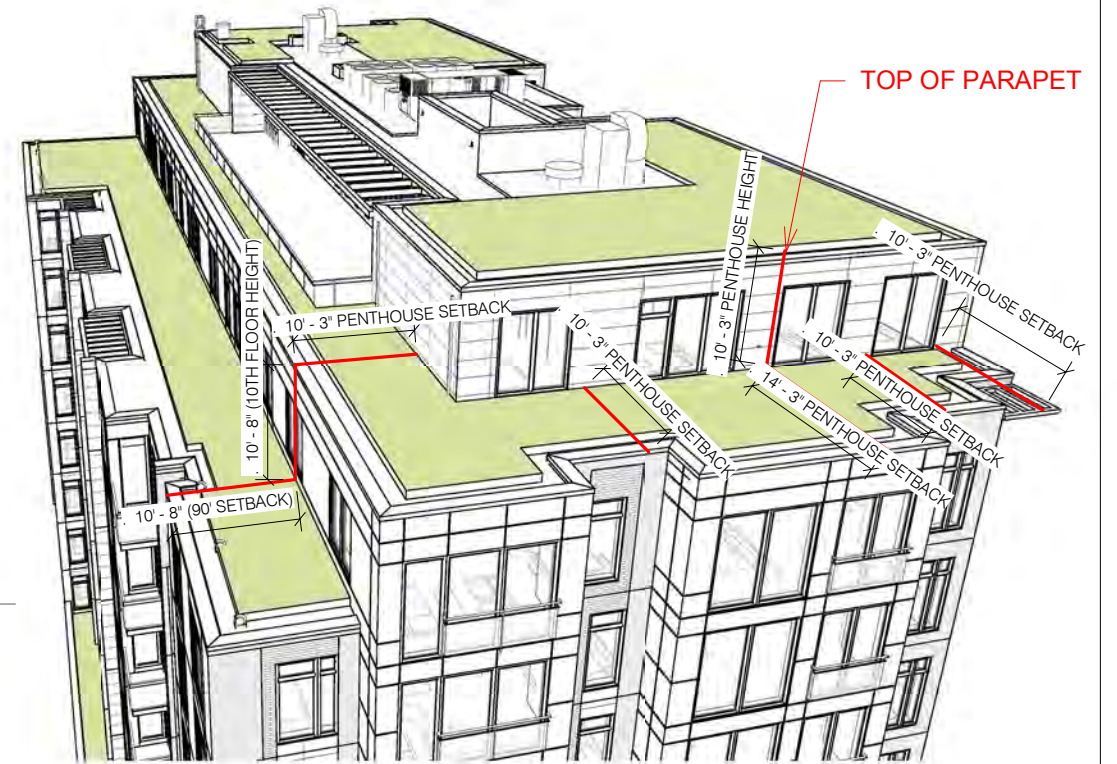
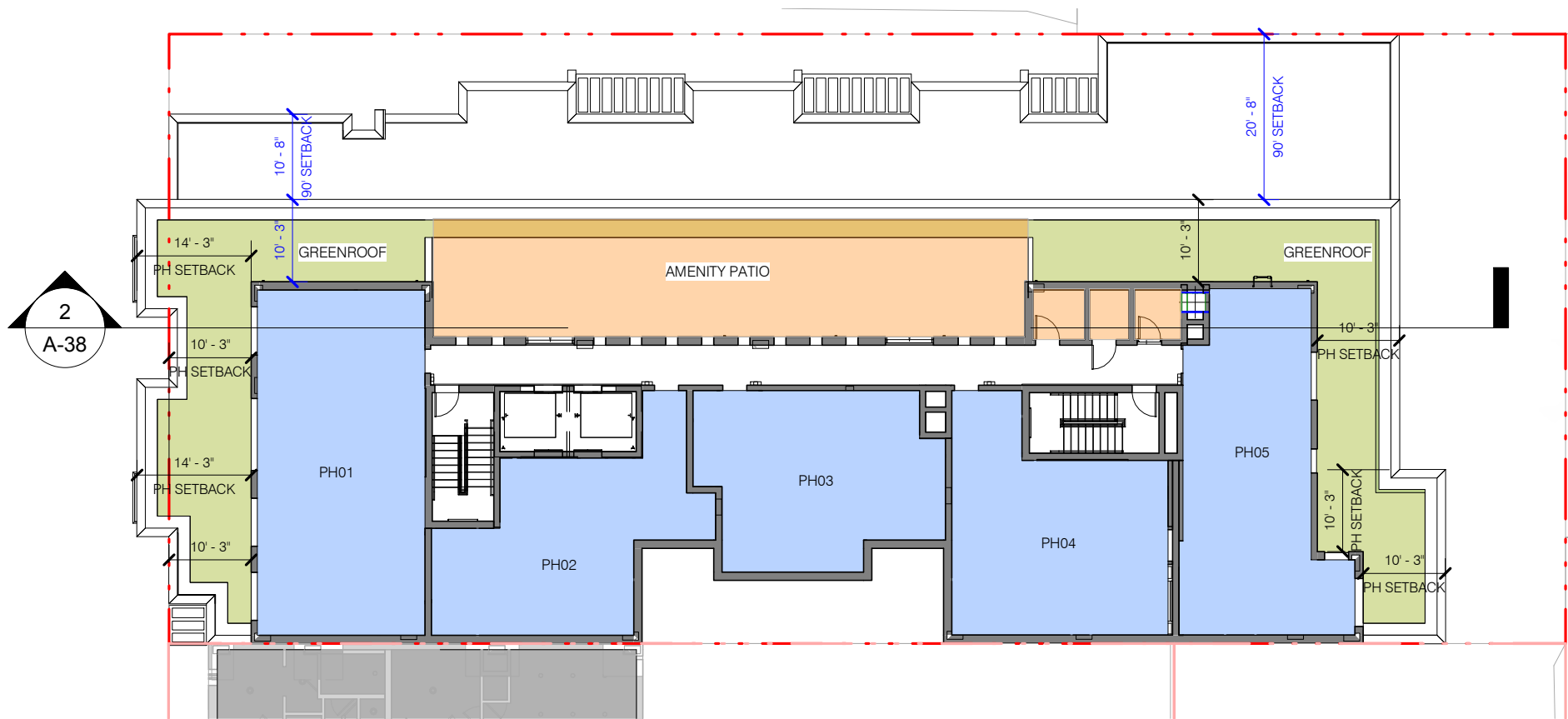
**PGN ARCHITECTS**  
PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)

**TM Associates Inc.**

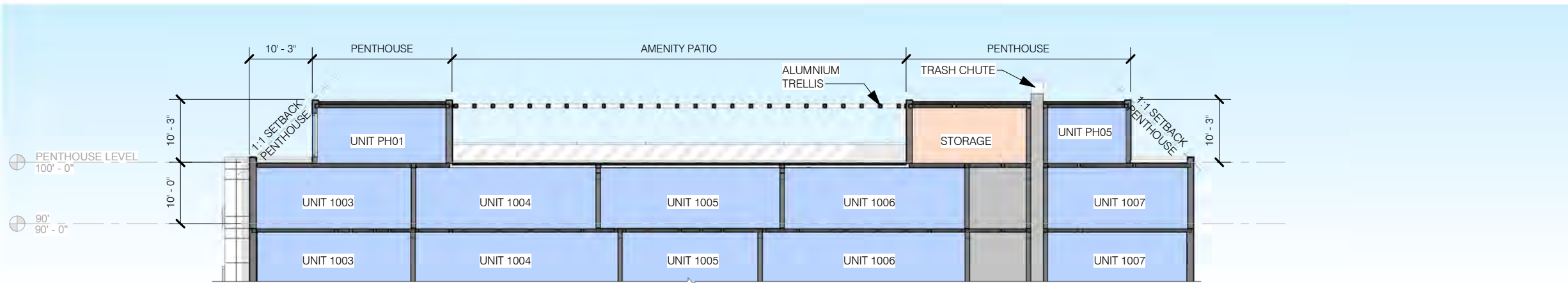
TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

10/25/2018





① 11TH LEVEL - PENTHOUSE EAST / WEST SETBACK  
1" = 20'-0"



② ENLARGED PENTHOUSE - LONGITUDINAL SECTION  
1" = 20'-0"

1530 FIRST ST. S.W.

ENLARGED PENTHOUSE ELEVATION A-38

1530 FIRST ST. S.W. WASHINGTON DC 20024

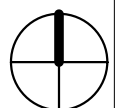
Square: 0656 Lot No: 0053 Zone: CG-4



PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)

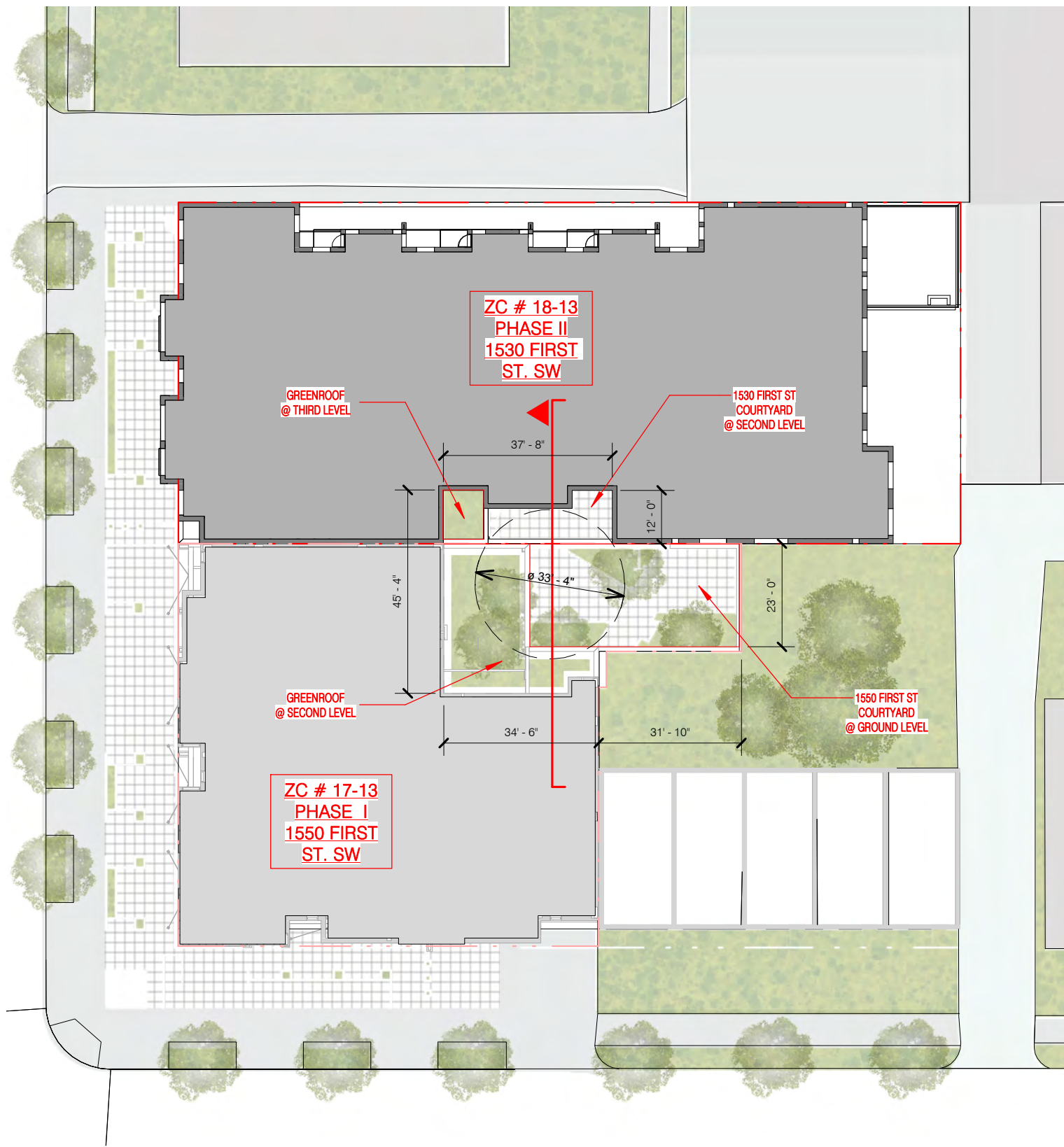


TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

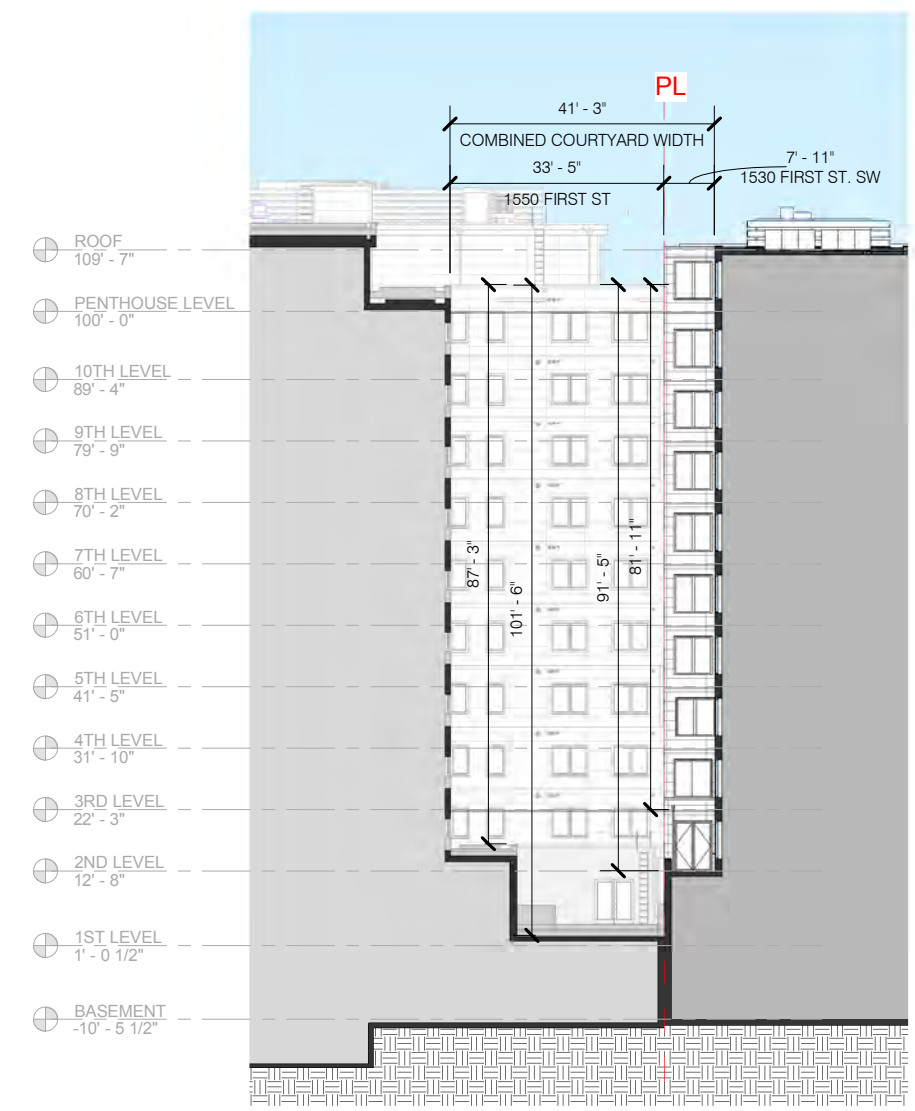


10/25/2018





① ENLARGED COURT - THIRD  
1" = 30'-0"



② COURTYARD SECTION  
1" = 30'-0"

FLOOR	WIDTH	AREAS PHASE II	AREAS PHASE I	COMBINED AREAS
1ST	N/A	N/A	1132 SF	1132 SF
2ND	27'-8"	226 SF	1908 SF	2134 SF
3RD-10TH	37'-8"	369 SF	1908 SF	2277 SF
PENTHOUSE	37'-8"	369 SF	2817 SF	3186 SF

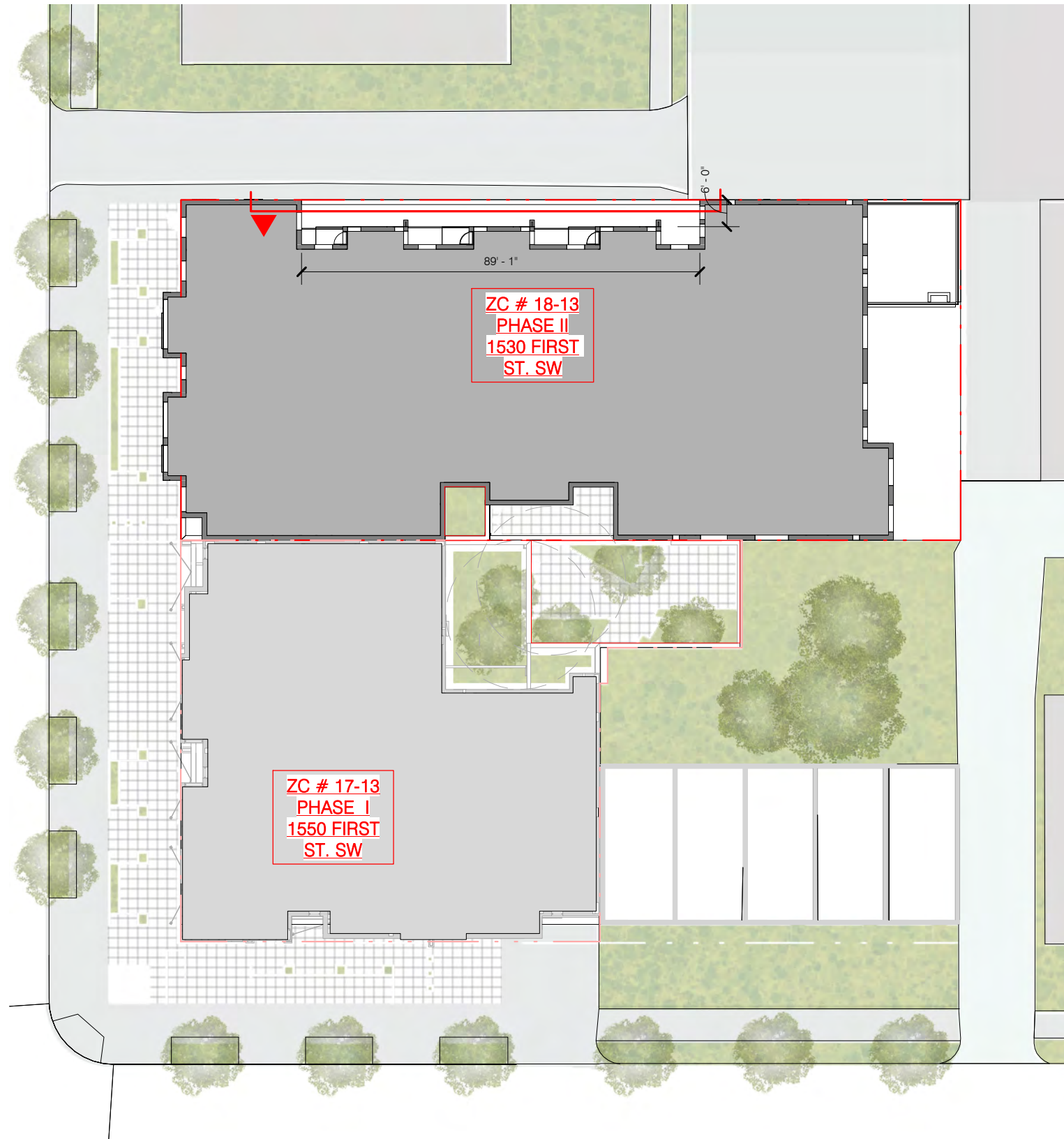
1530 FIRST ST. S.W.

1530 FIRST ST. S.W. WASHINGTON DC 20024  
Square: 0656 Lot No: 0053 Zone: CG-4

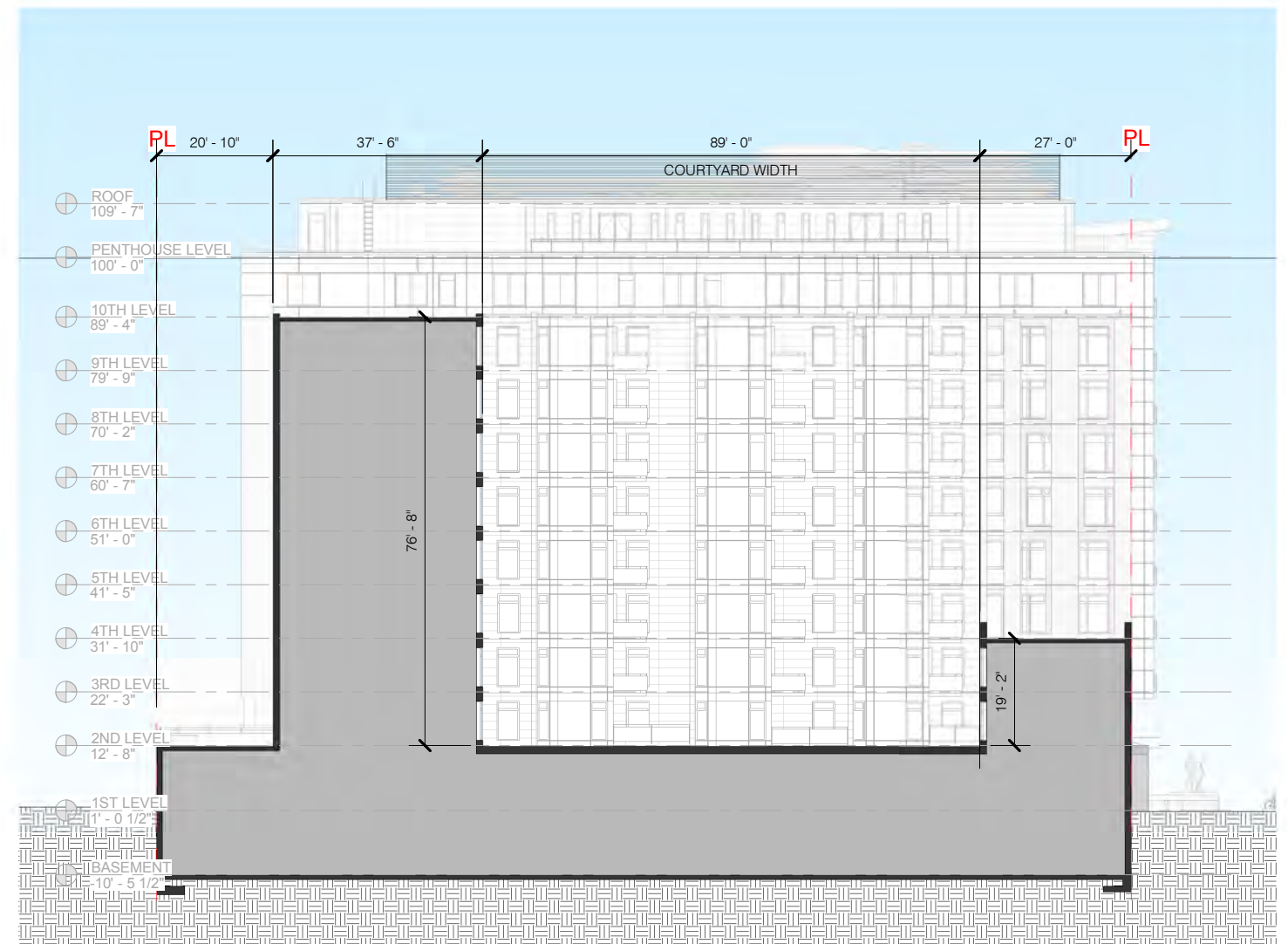
**PGN ARCHITECTS**  
PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)

**TM Associates Inc.**

TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)



① ENLARGED COURT - THIRD LEVEL  
1" = 30'-0"



② COURTYARD SECTION  
1" = 30'-0"

COURTYARD AREA

FLOOR	WIDTH	AREA
2ND	89'-0"	534 SF
3RD	89'-0"	534 SF
4TH-9TH	89'-0"	534 SF

1530 FIRST ST. S.W.

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4

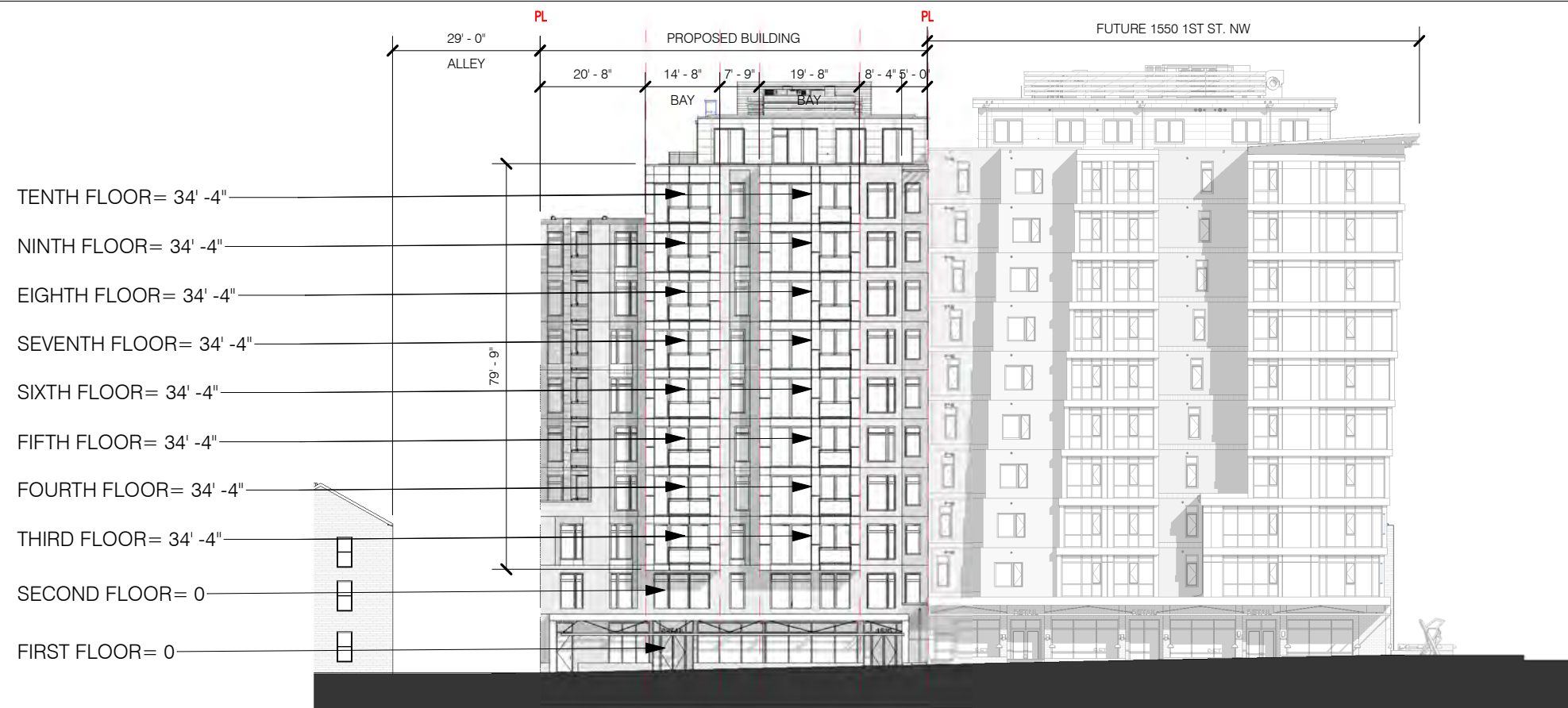


PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)

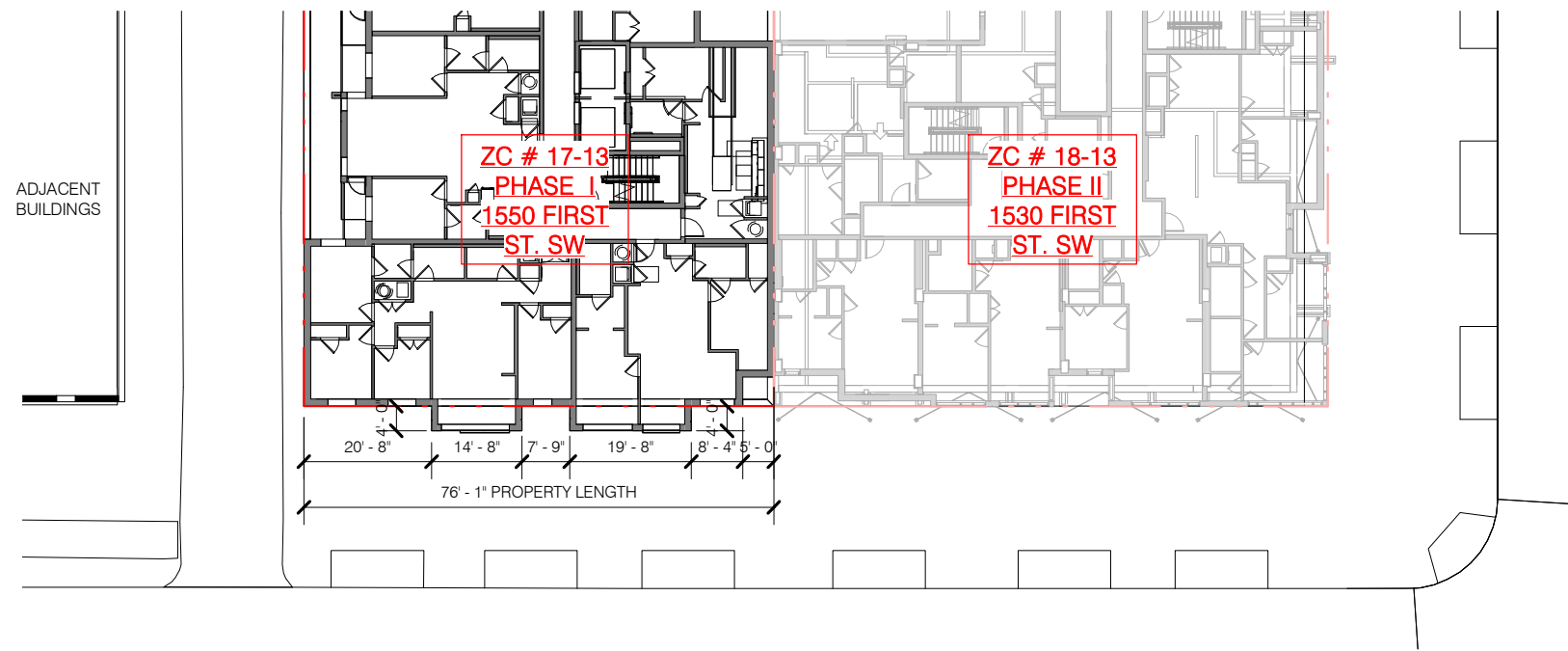


TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)





② BAY CALCULATION DIAGRAM  
1" = 30'-0"



① TYPICAL FLOOR PLAN  
1" = 30'-0"

**BAY CALCULATION**

**ALLOWED**

$$76.08' - 24 = 52.08 \times 6 = 312.48 / 12 = 26.04 + 13 = 39.04$$

**PROVIDED**

$$14.66 + 19.66 = 34.33'$$

1530 FIRST ST. S.W.

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4



PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)



TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)





① ENLARGED WEST ELEVATION  
1" = 10'-0"



② ENLARGED SIDEWALK - FIRST LEVEL  
1" = 10'-0"

1530 FIRST ST. S.W.

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4

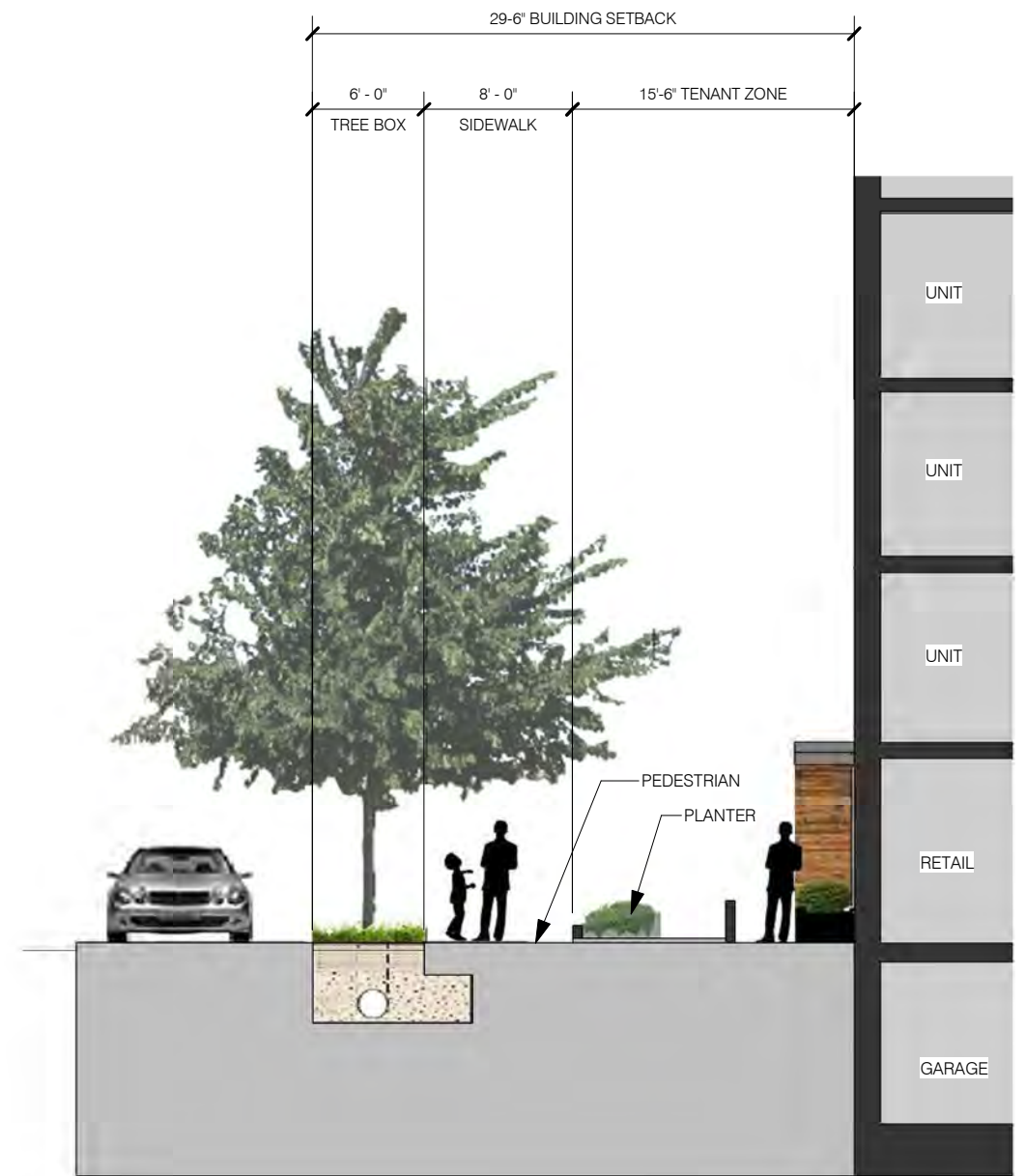
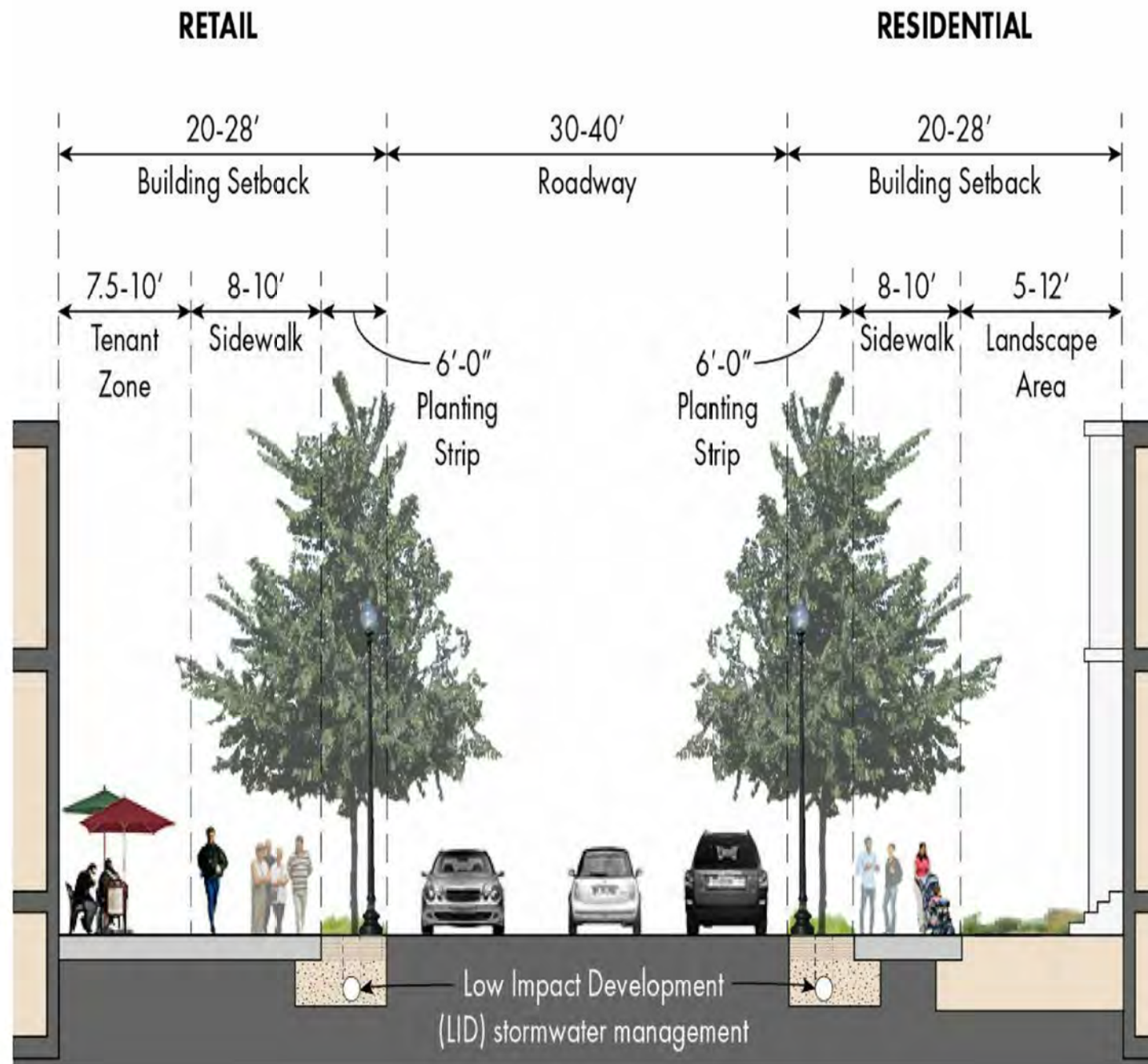


PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)



TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)





① ENLARGED STREETSCAPE SECTION  
1" = 10'-0"

**Specifications for All Other Streets**

- Brick sidewalks, granite curbs, and traditional Washington Globe streetlights create an intimate scale on the narrow 80-85' streets of Buzzard Point.
- Permeable brick pavers between the tree boxes will increase stormwater management efforts.
- Streetscape responds to the ground floor use of buildings, with 10' sidewalks at retail and 8' sidewalks with landscaping at residential buildings or along blank walls.

*Buzzard Point Streetscape Guidelines  
A Coordinated Design for the Streets of Buzzard Point  
DC Office of Planning and Department of Transportation - March 2016*

1530 FIRST ST. S.W.

STREETSCAPE EXPERIENCE - FIRST ST. | A-43

1530 FIRST ST. S.W. WASHINGTON DC 20024

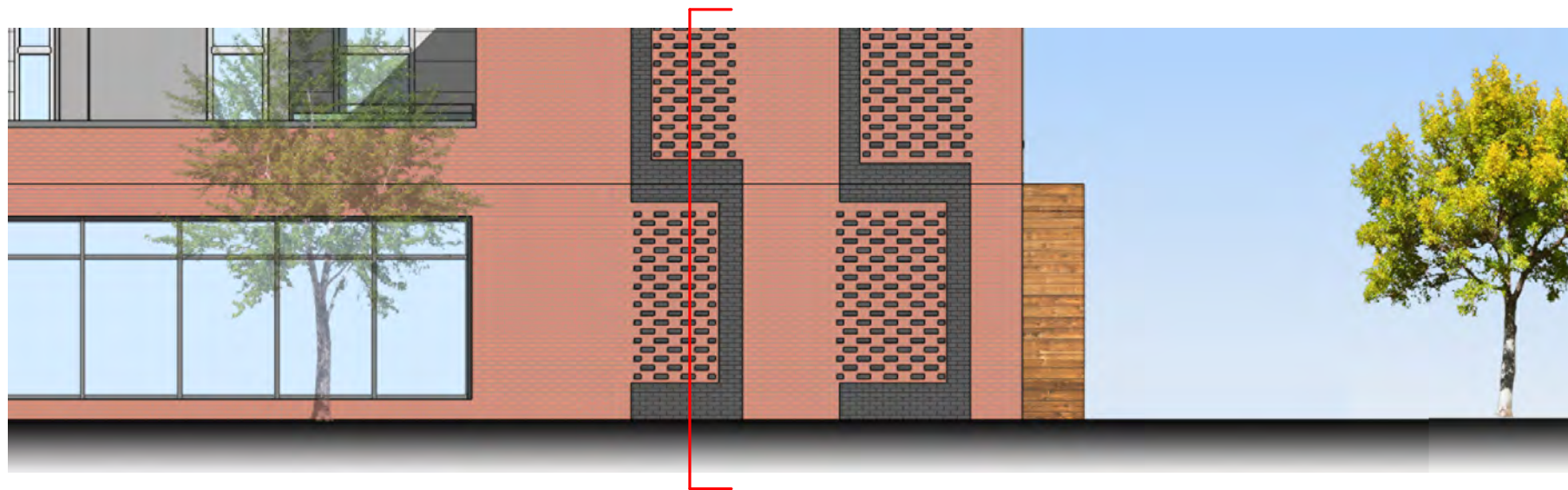
Square: 0656 Lot No: 0053 Zone: CG-4

**PGN ARCHITECTS**  
PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)

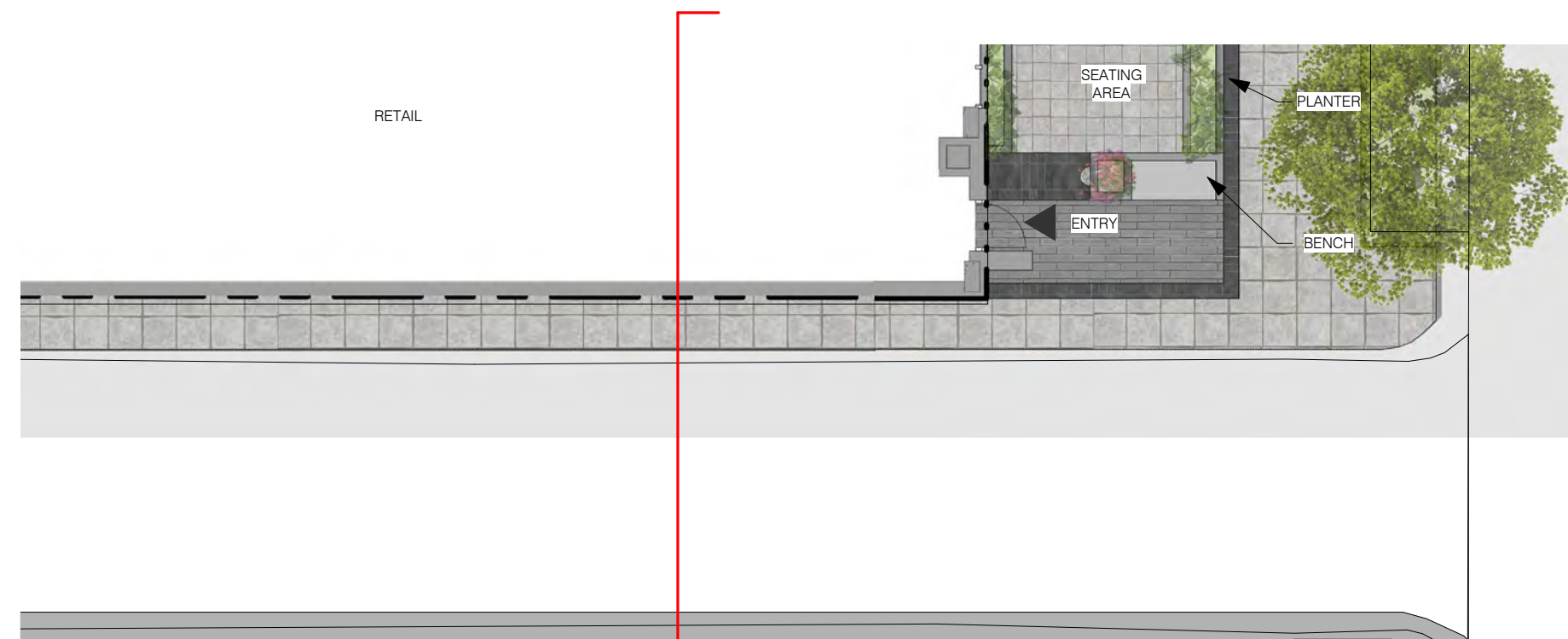
**TM Associates Inc.**

TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

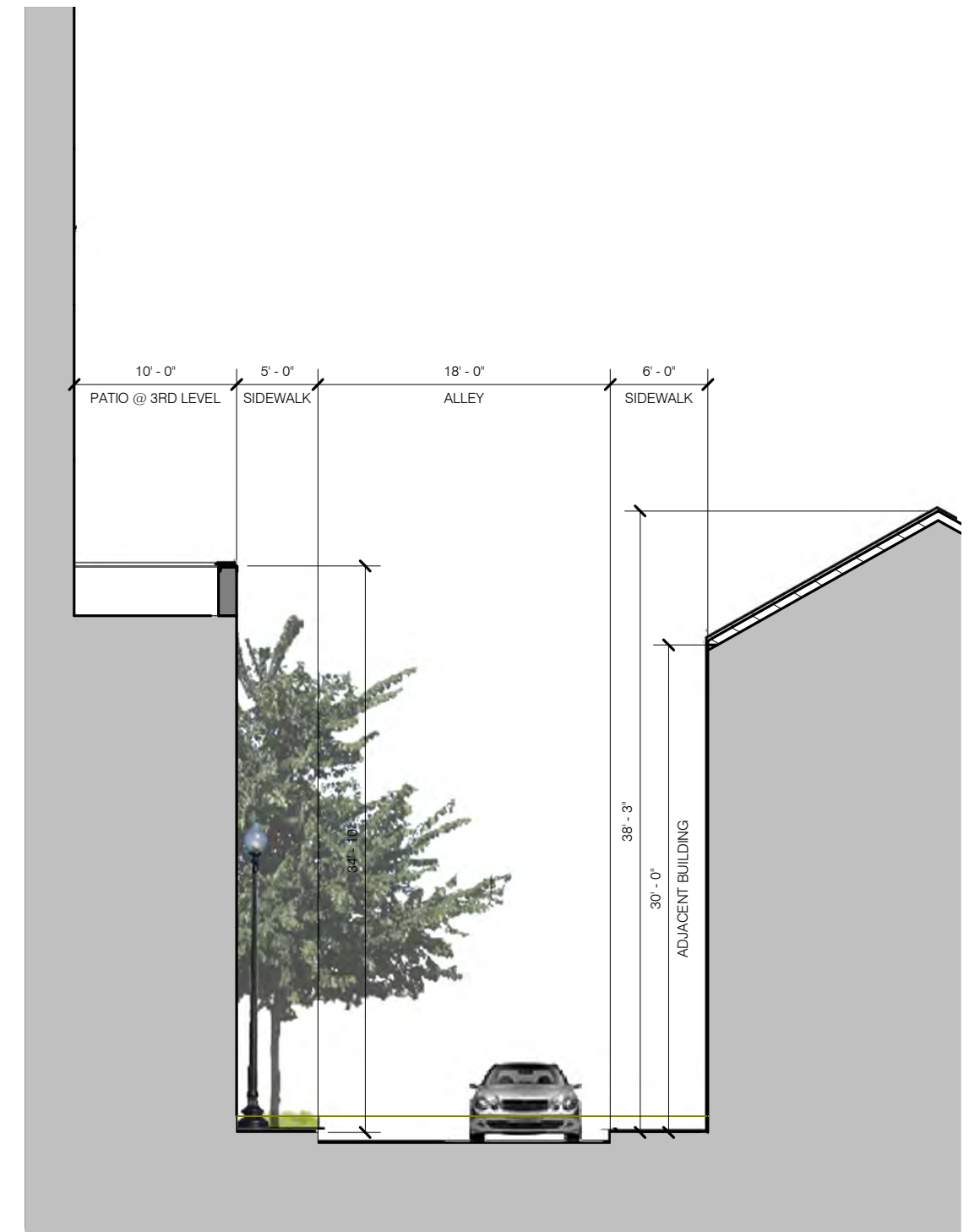
10/25/2018



① ENLARGED NORTH ELEVATION  
1" = 10'-0"

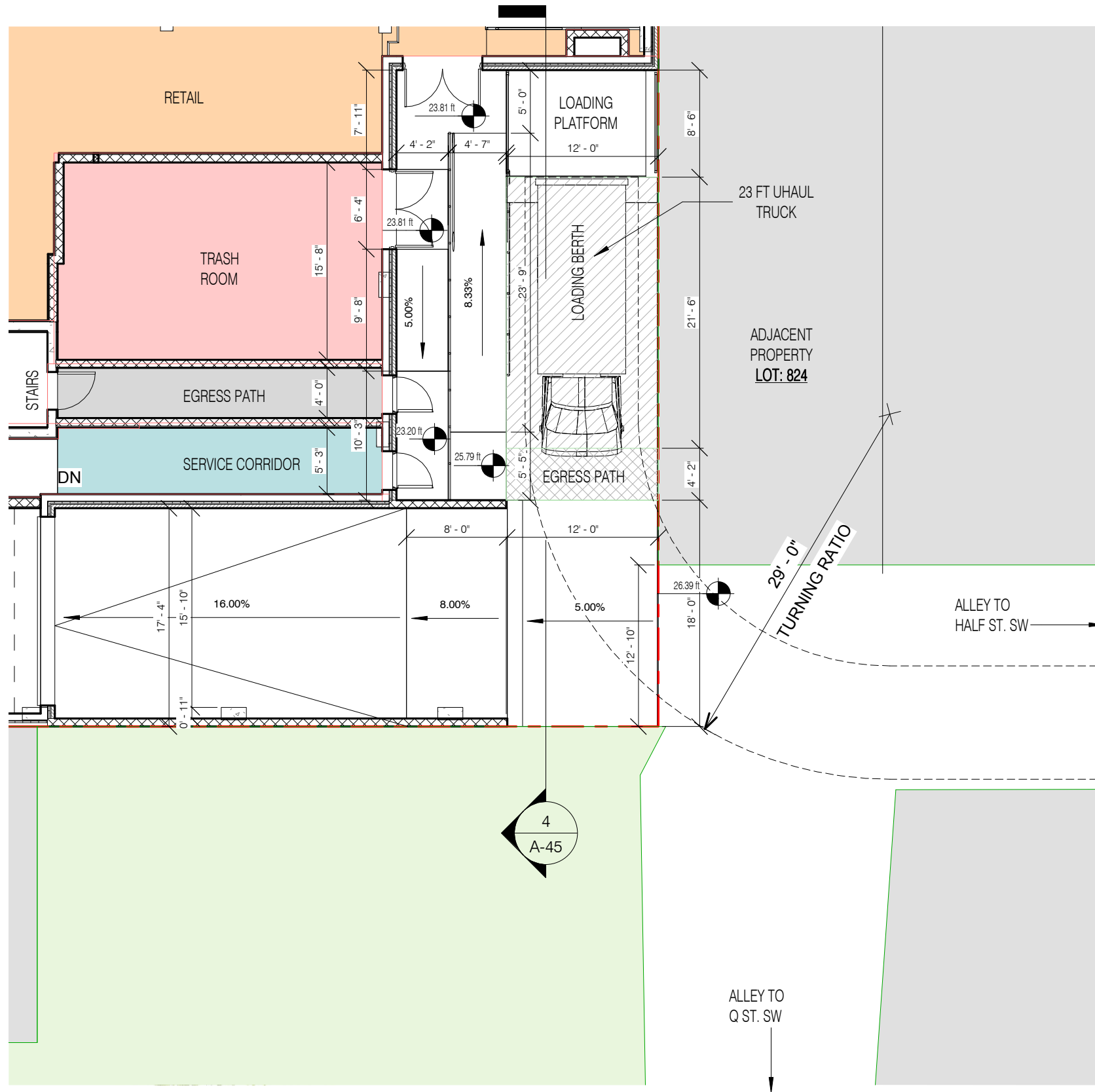


② ENLARGED ALLEY - FIRST LEVEL  
1" = 10'-0"

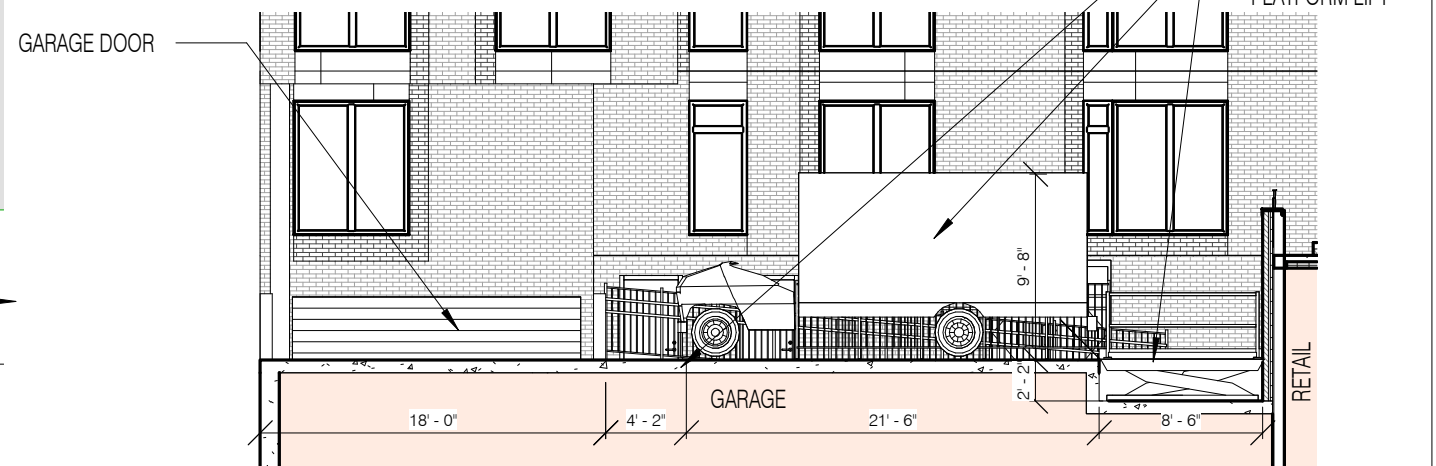
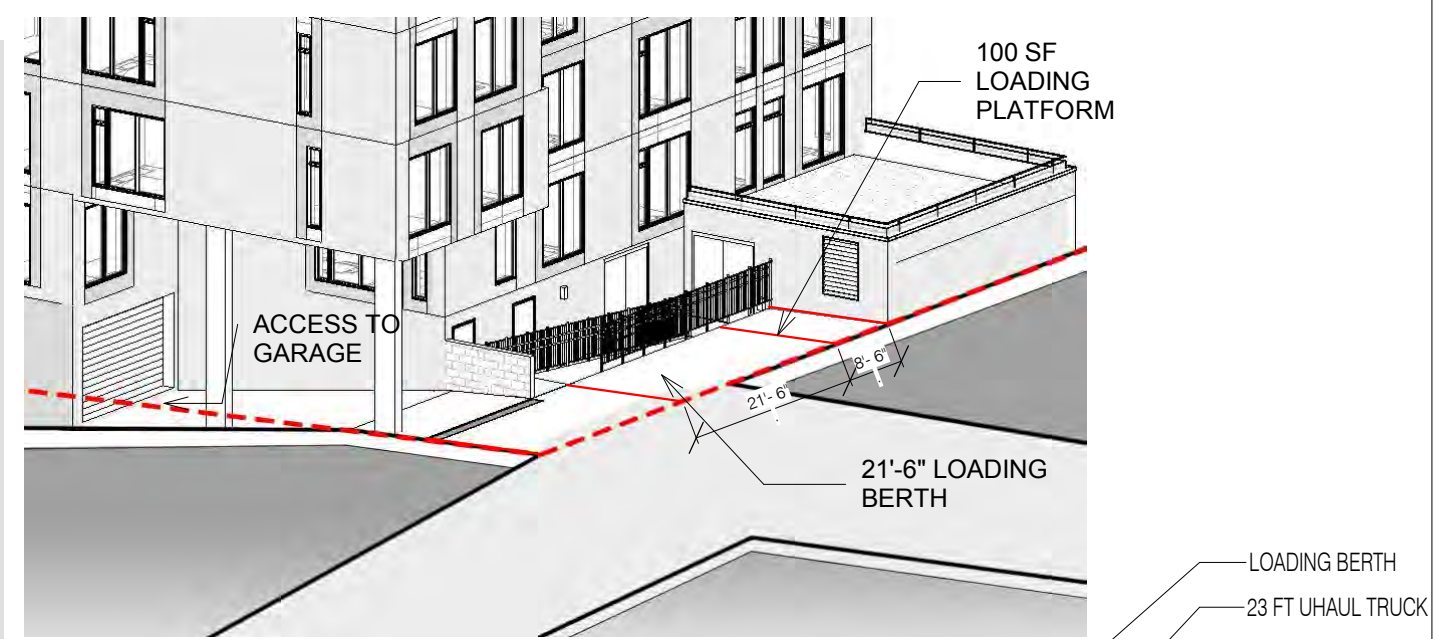


③ ENLARGED STEETScape SECTION  
1" = 10'-0"

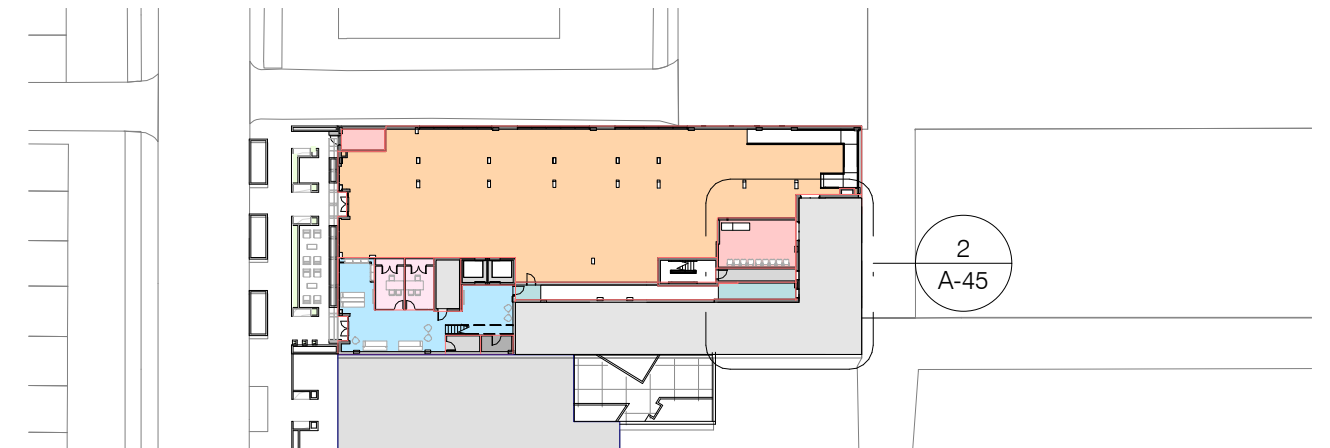




1 ENLARGED GARAGE RAMP  
1" = 10'-0"



4 LOADING BERTH / PLATFORM SECTION  
1" = 10'-0"



3 KEYPLAN  
1/64" = 1'-0"

1530 FIRST STREET SW

ENLARGE GARAGE RAMP A-45

1530 FIRST STREET SW WASHINGTON D.C. 20024

Square: 0656 Lot No: 0053 Zone: CG-4

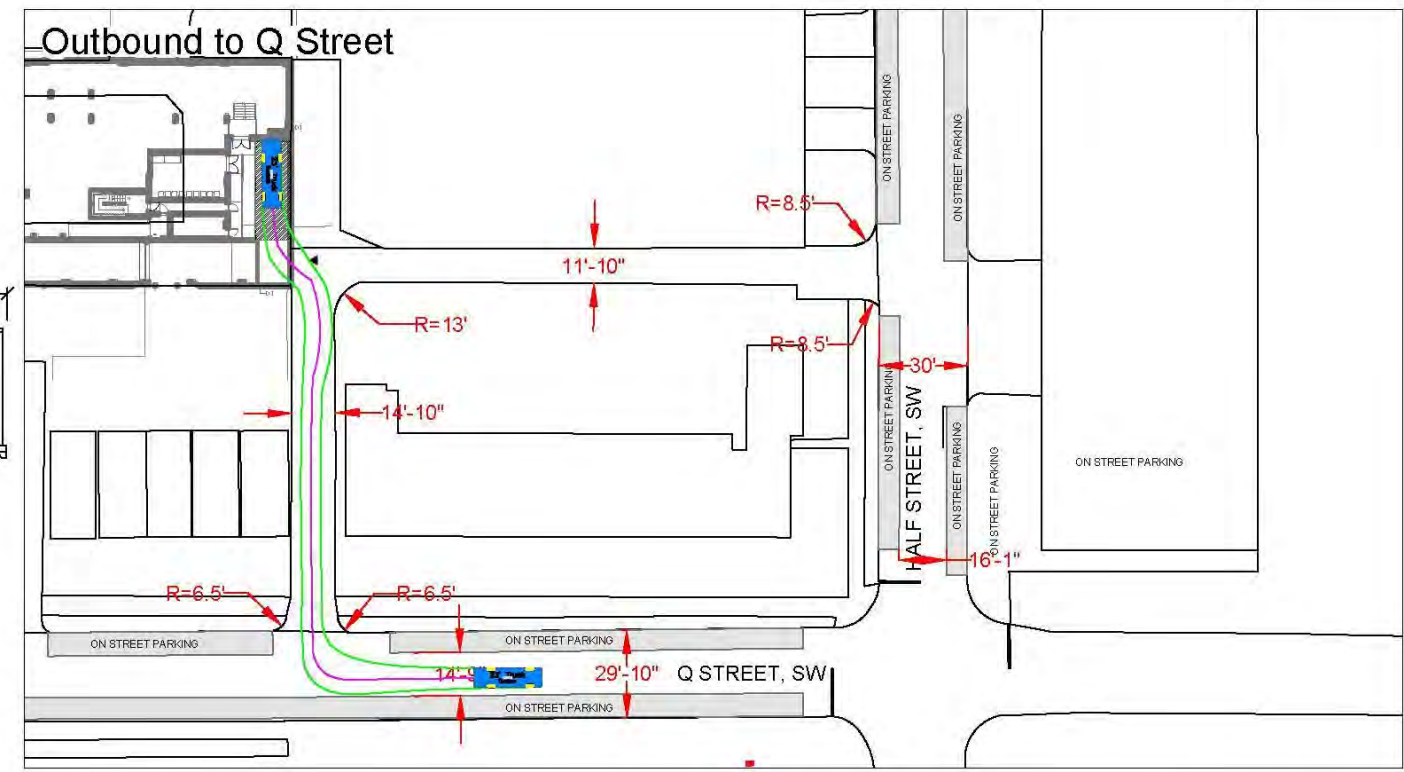
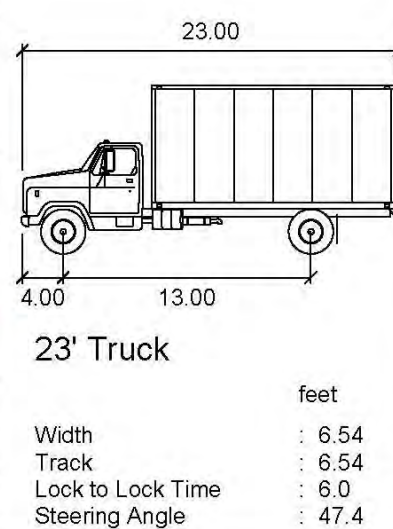
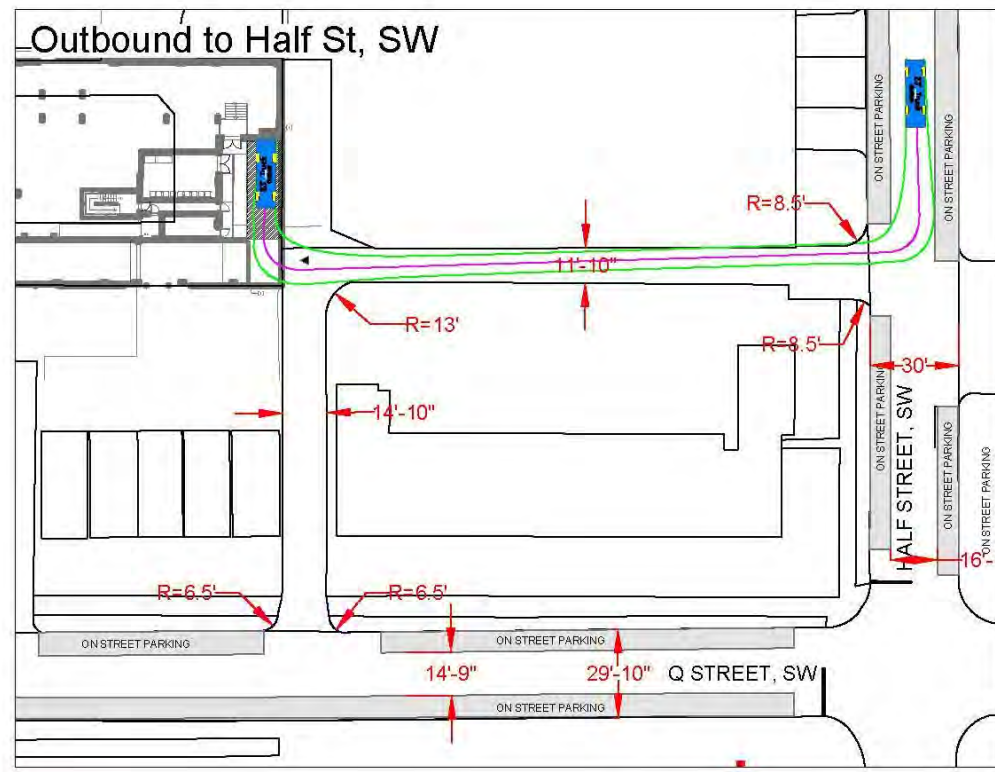
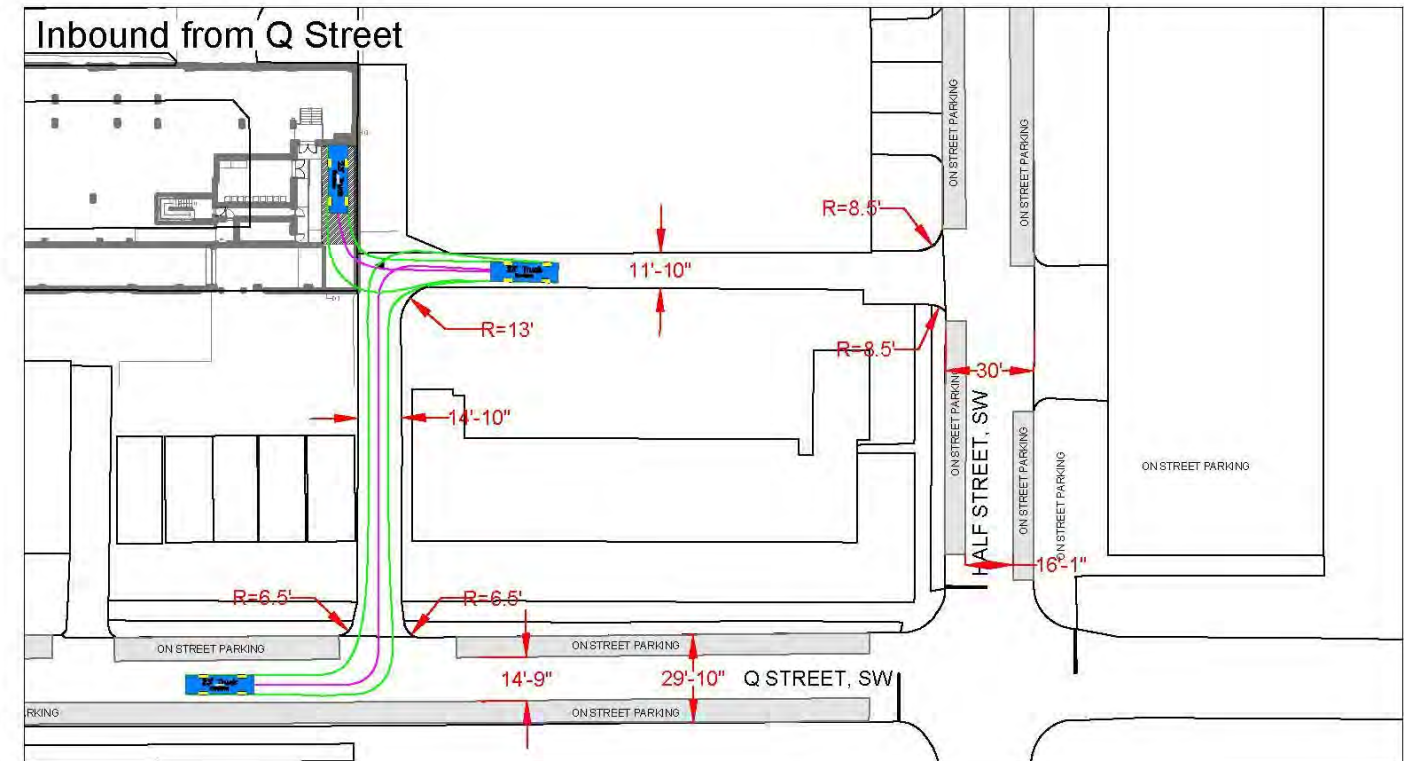
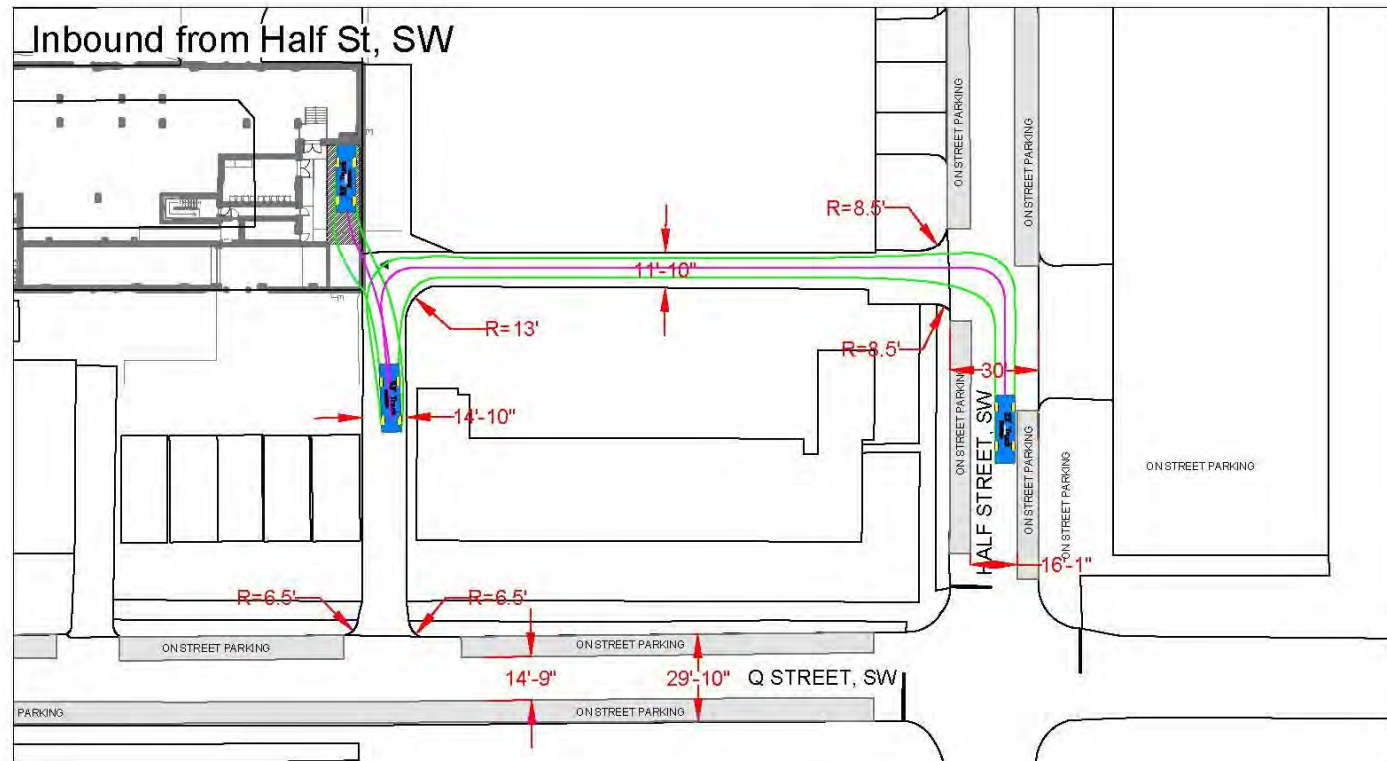


PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)



1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

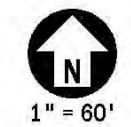
10/25/2018



**GOROVE / SLADE**  
Transportation Planners and Engineers

**Loading Movements: Analysis Vehicle: SU-23**  
1530 First Street, SW  
September 29, 2018

Southwest, Washington, DC



P:\7301-2954 1530 First Street SW\AutoTURN\1530 1st Street SW AutoTURN.dwg - 9/27/2018 5:45 PM

1530 FIRST ST. S.W.

LOADING DOCK TURNING DIAGRAM A-46

1530 FIRST ST. S.W. WASHINGTON DC 20024  
Square: 0656 Lot No: 0053 Zone: CG-4

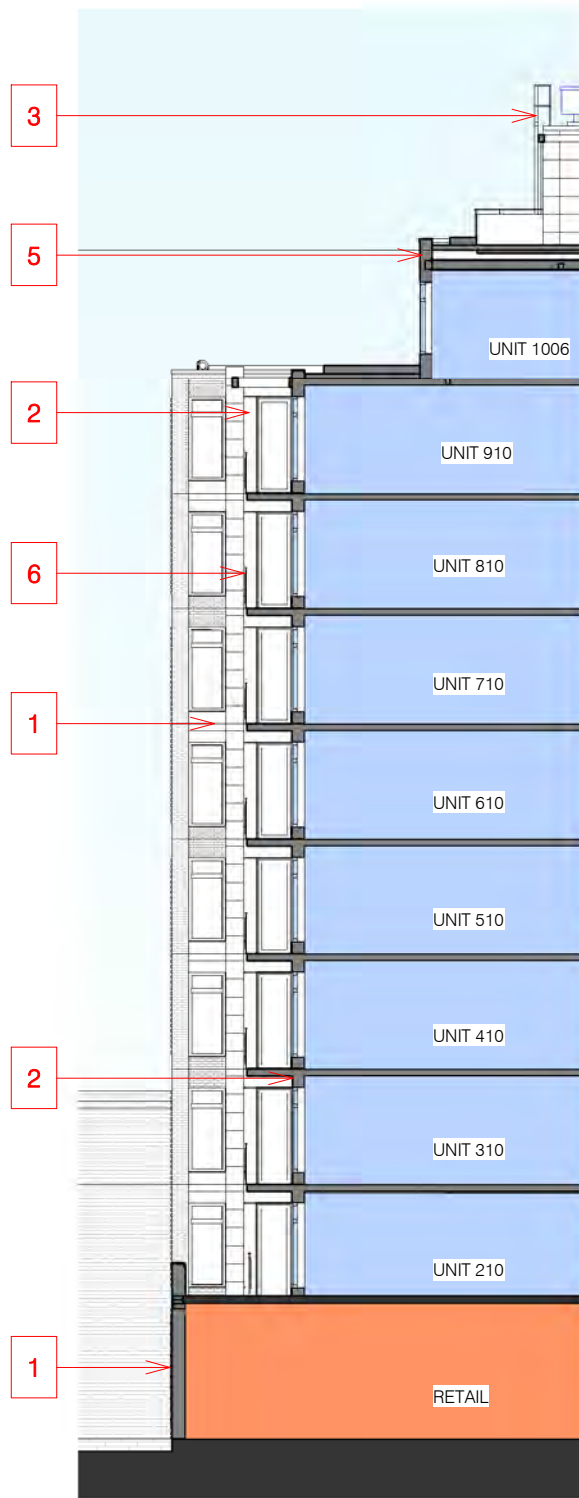
**PGN ARCHITECTS**  
PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)

**TM Associates Inc.**

TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

10/25/2018





① SECTION  
1/16" = 1'-0"



② PARTIAL ELEVATION - NORTH  
1/16" = 1'-0"



③ PARTIAL PERSPECTIVE  
1" = 60'-0"



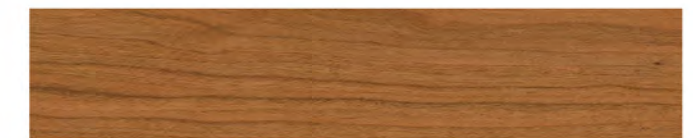
1 RED BRICK



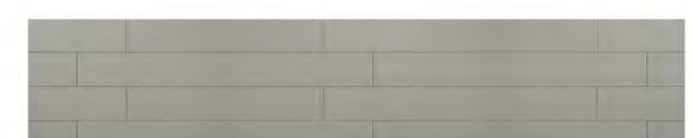
2 IRONSPOT BRICK



3 METAL PANEL



4 WOOD



5 FIBER CEMENT PANEL



6 GLASS BALCONIES

1530 FIRST ST. S.W.

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4

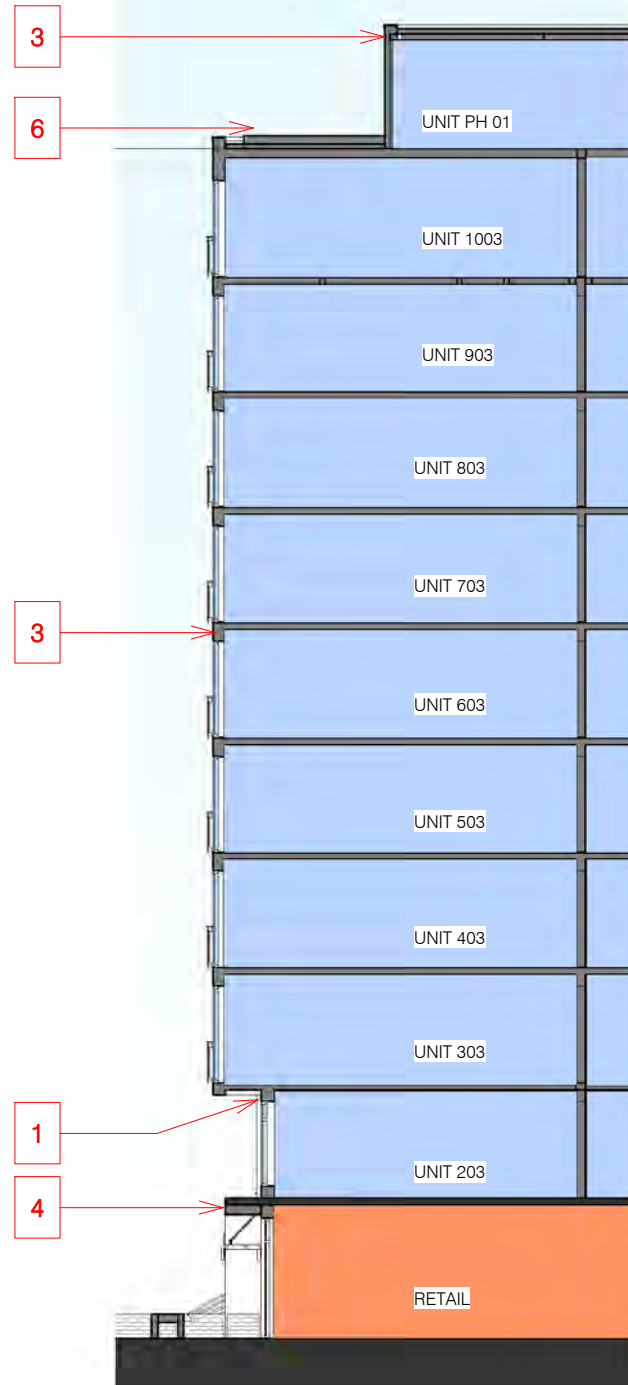


PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)



TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

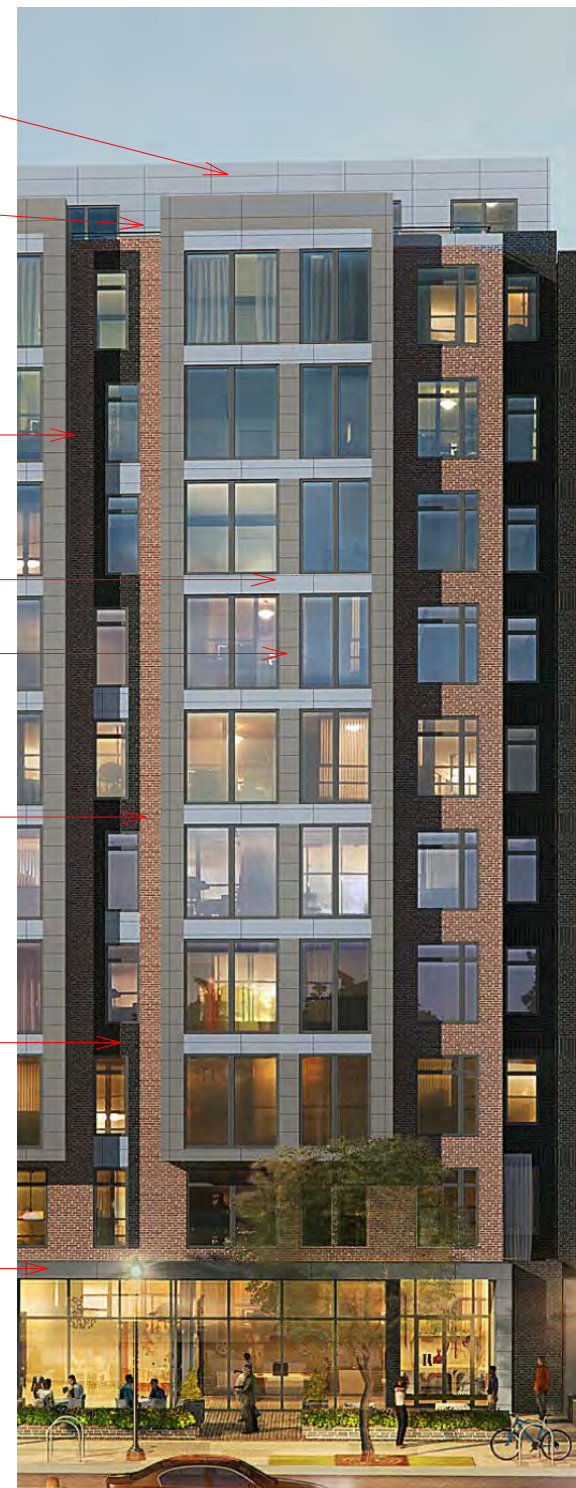




① BAY SECTION  
1/16" = 1'-0"



② PARTIAL ELEVATION - WEST  
1/16" = 1'-0"



③ PARTIAL BAY PERSPECTIVE  
1/16" = 1'-0"



1 RED BRICK



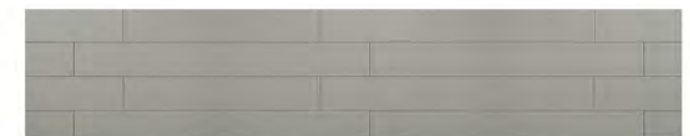
2 IRONSPOT BRICK



3 METAL PANEL



4 WOOD



5 FIBER CEMENT PANEL



6 GLASS BALCONIES

1530 FIRST ST. S.W.

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4



PGN ARCHITECTS, PLLC  
210 7th Street SE - Suite 201  
Washington, DC 20003  
202.822.5995 (P); 202.822.0908 (F)



TM ASSOCIATES INC.  
1375 Piccard Drive, Suite 150  
Rockville, Maryland 20850  
240.683.0300 (P); 240.428.7636 (F)

MATERIAL DETAILS | A-48

10/25/2018



**ZONING CODE DATA:**

PROJECT ADDRESS 1530 FIRST ST. SW. WASHINGTON, DC 20024

SQUARE NO. 0656  
 LOT NO. 0053  
 LOT AREA 13,206 SF  
 ZONING DISTRICT: CG-4  
 ZONING OVERLAY: NONE  
 HISTORIC AREA/SITE: NONE  
 INCLUSIONARY ZONING: EXEMPT BECAUSE 100% AFFORDABLE PROJECT PURSUANT TO 11 DCMR SUBTITLE § 1001.6.

	PRESCRIBED	PROVIDED
BUILDING HEIGHT	100'-0"	100'-0"
FAR	8.2 (3.0 NON-RESIDENTIAL)	8.0
LOT OCCUPANCY	80% = 10,425.6 SF	80% = 10,425.6 SF RELIEF REQUESTED ON 3RD FLOOR LOT OCCUPANCY 80.70
STORIES	NO LIMIT	10
DWELLING UNITS	NO LIMIT	101
REAR YARD	15' - 0"	20'-10" REQUIRED FOR RESIDENTIAL
SIDE YARD	NOT REQUIRED	NOT PROVIDED
RESIDENTIAL OPEN COURT(S):	NOT REQUIRED	NOT PROVIDED
RESIDENTIAL CLOSED COURT(S):	NOT REQUIRED, IF PROVIDED: 4' PER 1', MIN 15' AREA: 2x SQ OF REQUIRED WIDTH, MIN 350 SF	RELIEF REQUESTED
PENTHOUSE	HEIGHT	20' - 0" PENTHOUSE
	SETBACK	1:1 ON ALL WALLS EXCEPT: 1:0.5 WHERE SIDE WALL ABUTS ZONE OF EQUAL OR GREATER MATTER OF RIGHT HEIGHT 0 WHERE SIDE WALL ABUTS EXISTING WALL
	FAR	MAX 13,032 SF x 0.4 FAR = 5,212 SF HABITABLE SPACE
RESIDENTIAL PARKING	1 FOR EACH 3 DWELLING UNITS OVER 4, 50% REDUCTION = 16 REQ	18
RETAIL PARKING	IN EXCESS OF 3,000 SF, 1.33 FOR 1,000 SF (7,052 - 3,000) / 1,000*0.8 = 5	5
RESIDENTIAL BICYCLE PARKING	LONG TERM	1 SPACE FOR EACH 3 UNITS (101/3 = 34)
	SHORT TERM	1 SPACE FOR EACH 20 UNITS (101/20 = 5)
RETAIL BICYCLE PARKING	LONG TERM	1 SPACE FOR EACH 10,000 SF
	SHORT TERM	1 SPACE FOR EACH 3,500 SF (2 REQUIRED)
BAY CALCULATION	SOUTH FACADE 13' + ((76.08'-24*6)/12) = 39.04'	34.33'
LOADING BERTH	WITH MORE THAN 50 UNITS = 1 @ 30' x 12' MIN 15' CLEAR	RELIEF REQUESTED
LOADING PLATFORM	1 @ 100 SF, MIN 8' WIDE, MIN 14' CLEAR	100 SF, 8' WIDE, 14' CLEAR HEIGHT
DELIVERY SPACE	1 @ 20' x 10', MIN 10' CLEAR	21.5x12, 15' CLEAR HEIGHT
GREEN AREA RATIO	0.2	0.2

10/26/18  
 1530 First St. S.W.

	Unit 1	Unit 2	Unit 3	Unit 4	Unit 5	Unit 6	Unit 7	Unit 8	Unit 9	Unit 10	Unit 11	Lobby	Amenity	Retail	# of Units	Total Floor Net SF
Floor	SF	SF	SF	SF	SF	SF	SF	SF	SF	SF	SF	SF	SF	SF		
Garage	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	0	0
First	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	1,058	N/A	7,698	0	8,756
Second	N/A	834	1,164	1,007	700	1,007	783	475	574	941	N/A	N/A	1,318	N/A	9	8,803
Third	595	912	1,223	1,007	700	1,007	783	475	1,120	735	791	N/A	N/A	N/A	11	9,348
Fourth	595	596	1,261	1,006	700	1,007	783	475	1,115	733	792	N/A	N/A	N/A	11	9,063
Fifth	595	596	1,261	1,006	700	1,007	783	475	1,115	733	792	N/A	N/A	N/A	11	9,063
Sixth	595	596	1,261	1,006	700	1,007	783	475	1,115	733	792	N/A	N/A	N/A	11	9,063
Seventh	595	596	1,261	1,006	700	1,007	783	475	1,115	733	792	N/A	N/A	N/A	11	9,063
Eighth	595	596	1,261	1,006	700	1,007	783	475	1,115	733	792	N/A	N/A	N/A	11	9,063
Ninth	595	596	1,261	1,006	700	1,007	783	475	1,115	733	792	N/A	N/A	N/A	11	9,063
Tenth	595	596	986	524	525	522	531	1,121	735	792	N/A	N/A	N/A	N/A	10	6,927
Penthouse	994	664	668	733	816	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	5	3,875
Total # Of Units															101	
Total Building Net SF																92,087
	1 BR	46	46%	2 BR	37	37%	3 BR	10	10%	4 BR	8	8%				

\*SF measured from outside of exterior wall, center line of demising walls, inside face of corridor walls. Does not include balconies.

Type A uits 308, 508, 608, 708, 808, 908, 1007, 411, 611, 811, 709  
 UFAS units 210, 408, 309, 503, 703

**1530 FIRST ST. S.W.**

1530 FIRST ST. S.W. WASHINGTON DC 20024

Square: 0656 Lot No: 0053 Zone: CG-4



PGN ARCHITECTS, PLLC  
 210 7th Street SE - Suite 201  
 Washington, DC 20003  
 202.822.5995 (P); 202.822.0908 (F)



TM ASSOCIATES INC.  
 1375 Piccard Drive, Suite 150  
 Rockville, Maryland 20850  
 240.683.0300 (P); 240.428.7636 (F)

# 1530 First ST, SW Scorecard

Note: This information on this tab is READ-ONLY. To edit this information, see the Credit Category list.

	<b>Integrative Process</b>	Preliminary	Y	2 of 2	M	0	Verified	0
IPc	Integrative Process			2 of 2		0		
	<b>Location and Transportation</b>	Preliminary	Y	15 of 15	M	0	Verified	0
LTp	Floodplain Avoidance			Required				Not Verified
<i>Performance Path</i>								
LTc	LEED for Neighborhood Development			0 of 15		0		
<i>Prescriptive Path</i>								
LTc	Site Selection			8 of 8		0		
LTc	Compact Development			3 of 3		0		
LTc	Community Resources			2 of 2		0		
LTc	Access to Transit			2 of 2		0		
	<b>Sustainable Sites</b>	Preliminary	Y	5 of 7	M	0	Verified	0
SSp	Construction Activity Pollution Prevention			Required				Not Verified
SSp	No Invasive Plants			Required				Not Verified
SSc	Heat Island Reduction			2 of 2		0		
SSc	Rainwater Management			1 of 3		0		
SSc	Nontoxic Pest Control			2 of 2		0		
	<b>Water Efficiency</b>	Preliminary	Y	8 of 12	M	0	Verified	0
WEp	Water Metering			Required				Not Verified
<i>Performance Path</i>								
WEc	Total Water Use			0 of 12		0		
<i>Prescriptive Path</i>								
WEc	Indoor Water Use			5 of 6		0		
WEc	Outdoor Water Use			3 of 4		0		
	<b>Energy and Atmosphere</b>	Preliminary	Y	16 of 37	M	0	Verified	0
EAp	Minimum Energy Performance			Required				Not Verified
EAp	Energy Metering			Required				Not Verified
EAp	Education of the Homeowner, Tenant or Building Manager			Required				Not Verified
EAc	Annual Energy Use			12 of 30		0		
EAc	Efficient Hot Water Distribution System			4 of 5		0		
EAc	Advanced Utility Tracking			0 of 2		0		
	<b>Materials and Resources</b>	Preliminary	Y	2.5 of 9	M	0.5	Verified	0
MRp	Certified Tropical Wood			Required				Not Verified
MRp	Durability Management			Required				Not Verified
MRc	Durability Management Verification			0 of 1		0		
MRc	Environmentally Preferable Products			0.5 of 5		0.5		
MRc	Construction Waste Management			2 of 3		0		

	<b>Indoor Environmental Quality</b>	Preliminary	Y	7.5 of 18	M	1	Verified	0
EQp	Ventilation			Required				Not Verified
EQp	Combustion Venting			Required				Not Verified
EQp	Garage Pollutant Protection			Required				Not Verified
EQp	Radon-Resistant Construction			Required				Not Verified
EQp	Air Filtering			Required				Not Verified
EQp	Environmental Tobacco Smoke			Required				Not Verified
EQp	Compartmentalization			Required				Not Verified
EQc	Enhanced Ventilation			1 of 3		0		
EQc	Contaminant Control			0.5 of 2		0		
EQc	Balancing of Heating and Cooling Distribution Systems			0 of 3		0		
EQc	Enhanced Compartmentalization			0 of 3		0		
EQc	Combustion Venting			2 of 2		0		
EQc	Enhanced Garage Pollutant Protection			1 of 1		0		
EQc	Low-Emitting Products			2 of 3		0		
EQc	No Environmental Tobacco Smoke			1 of 1		0		

	<b>Innovation</b>	Preliminary	Y	2 of 6	M	0	Verified	0
INp	Preliminary Rating			Required				Verified
INc	Innovation			2 of 5		0		
INc	LEED Accredited Professional			0 of 1		0		

	<b>Regional Priority</b>	Preliminary	Y	0 of 4	M	0	Verified	0
RPC	Regional Priority			0 of 4		0		

<b>Point Floors</b>								
The project earned at least 8 points total in Location and Transportation and Energy and Atmosphere								<input type="text" value="No"/>
The project earned at least 3 points in Water Efficiency								<input type="text" value="No"/>
The project earned at least 3 points in Indoor Environmental Quality								<input type="text" value="No"/>

<b>Total</b>	Preliminary	Y	58 of 110	M	10.5	Verified	0
--------------	-------------	---	-----------	---	------	----------	---

Certification Thresholds Certified: 40-49, Silver: 50-59, Gold: 60-79, Platinum: 80-110

1530 FIRST ST. S.W.

LEED CHECKLIST | A-51

1530 FIRST ST. S.W. WASHINGTON DC 20024  
 Square: 0656 Lot No: 0053 Zone: CG-4

PGN ARCHITECTS, PLLC  
 210 7th Street SE - Suite 201  
 Washington, DC 20003  
 202.822.5995 (P); 202.822.0908 (F)

TM Associates Inc.

TM ASSOCIATES INC.  
 1375 Piccard Drive, Suite 150  
 Rockville, Maryland 20850  
 240.683.0300 (P); 240.428.7636 (F)

10/25/2018